



*County of Lassen*  
Department of Planning and Building Services


• Planning • Building Permits • Code Enforcement • Surveyor • Surface Mining

February 5, 2020

**Maurice L. Anderson, Director**  
707 Nevada Street, Suite 5  
Susanville, CA 96130-3912  
Phone: 530 251-8269  
Fax: 530 251-8373  
email: landuse@co.lassen.ca.us  
website: www.co.lassen.ca.us

TO: Architectural Review Committee  
Agenda Date: February 6, 2020

Zoning & Building  
Inspection Requests  
Phone: 530 257-5263

FROM: Maurice L. Anderson, Director 

SUBJECT: **DESIGN REVIEW #2020-002, Brian Fisher.** The applicant is proposing a 960-square-foot accessory building that deviates from the siding requirements of Lassen County Code § 18.108.235. Deviation from these requirements is allowed upon approval by the Architectural Review Committee through the Design Review process. The project site is zoned R-1-A-B-2.5 (Single Family Residential Agricultural 2.5-Acre Building Site Combining District) and its land use designation is "Estate Residential" in the *Lassen County General Plan, 2000* as amended by the *Johnstonville Area Plan, 1987*. The project site is located approximately 5 miles southeast of Susanville and 0.25 miles west of U.S. Highway 395 at 471-030 Linco Lane, Susanville, CA 96130. APN: 116-200-54. Staff Contact: Nancy McAllister, Associate Planner

The Lassen County Department of Planning and Building Services recommends the following findings:

1. The project site is zoned R-1-A-B-2.5 (Single Family Residential Agricultural 2.5-Acre Building Site Combining District) and has a land use designation of "Estate Residential" pursuant to the *Lassen County General Plan, 2000*, as amended by the *Johnstonville Area Plan, 1987*.
2. Existing improvements on site include a 2,086-square-foot single family residence with attached garage and three metal-sided accessory buildings (measuring approximately 120 square feet, 120 square feet, and 1,000 square feet).
3. The applicant is proposing a 960-square-foot accessory building ("RV cover") that deviates from the siding requirements of Lassen County Code § 18.108.235. Said section requires that metal and vinyl siding materials be used in conjunction with wood composite siding, natural wood, stucco, masonry, concrete, or natural colored stone.
4. The applicant is proposing 100% metal siding in colors matching the existing residence and accessory buildings.
5. The applicant is proposing a 4/12 roof pitch and 18" eave overhangs and gabled ends.

6. The proposed accessory building meets all requirements set forth in Lassen County Code § 18.22.050 (Development Standards) for R-1 zoning districts, including the building height limit, the 35 percent maximum lot coverage limit, the square footage limit (80% of main building), and all of the setback distances.
7. Requirements set forth in Lassen County Code § 18.80.040 (Development Standards) for A (Agricultural Combining District) zoning districts are not applicable to the proposed accessory building.
8. The proposed accessory building meets the 30-foot setback distance required by the Lassen County 502 Ordinance set forth in Lassen County Code § 9.16.103(d)(1)(A), and California Code of Regulations § 1276.01.
9. Pursuant to Lassen County Code § 18.118 (Design Review), the Architectural Review Committee may make one of the following determinations:
  - a. Approve the application as submitted; or
  - b. Suggest any changes in the plans it deems necessary to accomplish the purpose of the design district or applicable standards; or
  - c. Refer the application to the Planning Commission for decision.

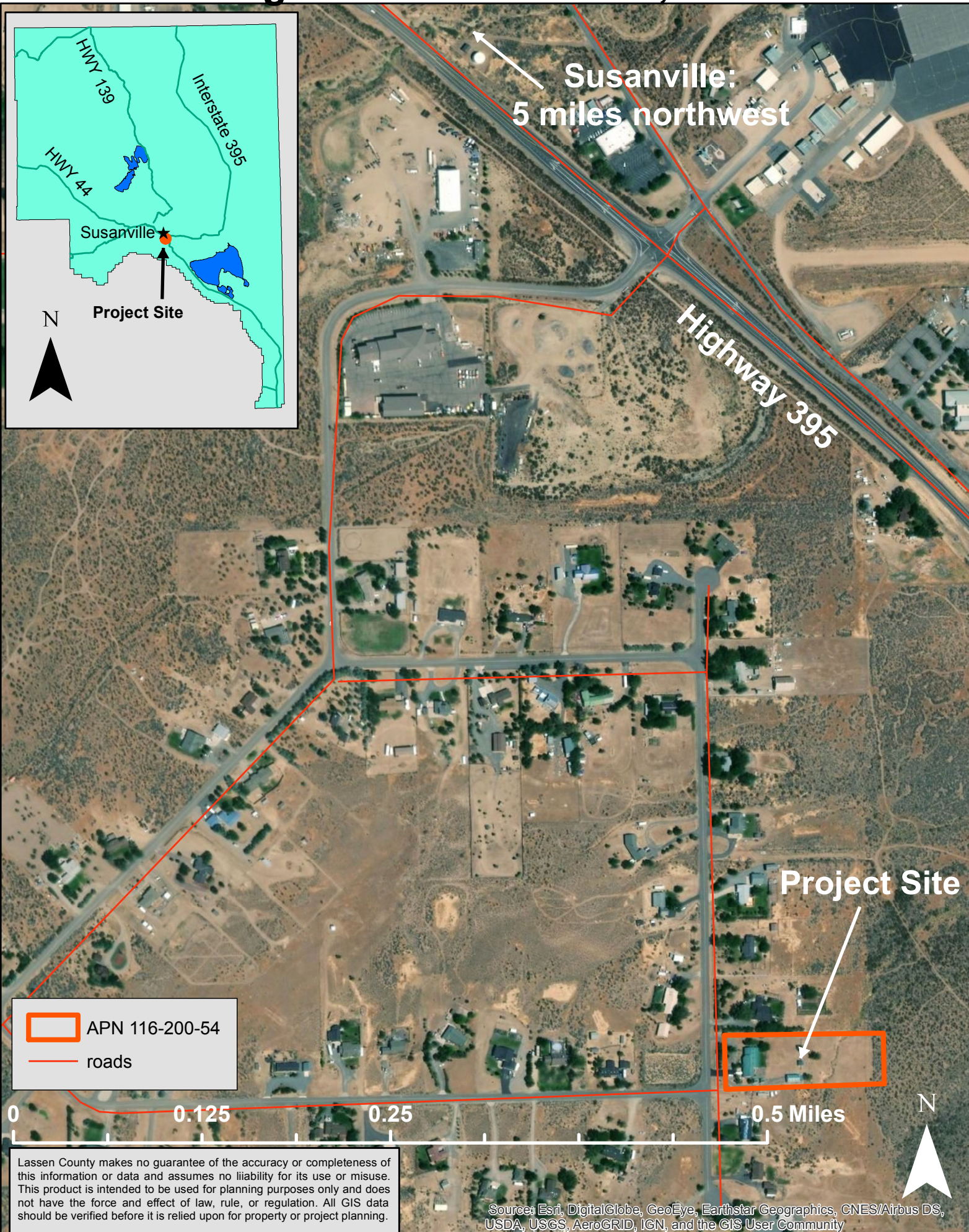
#### Code Requirements

1. The applicant will secure a building permit from the Department of Planning and Building Services before construction of the proposed accessory building.
2. The metal siding of the proposed accessory building must be treated with an oxidation inhibitor and shall have a no-glare surface.
3. The proposed accessory building shall not be painted in florescent, luminescent, or other extreme colors, which detract from the appearance of the neighboring property, the community as a whole or the natural environment.

MLA:njm

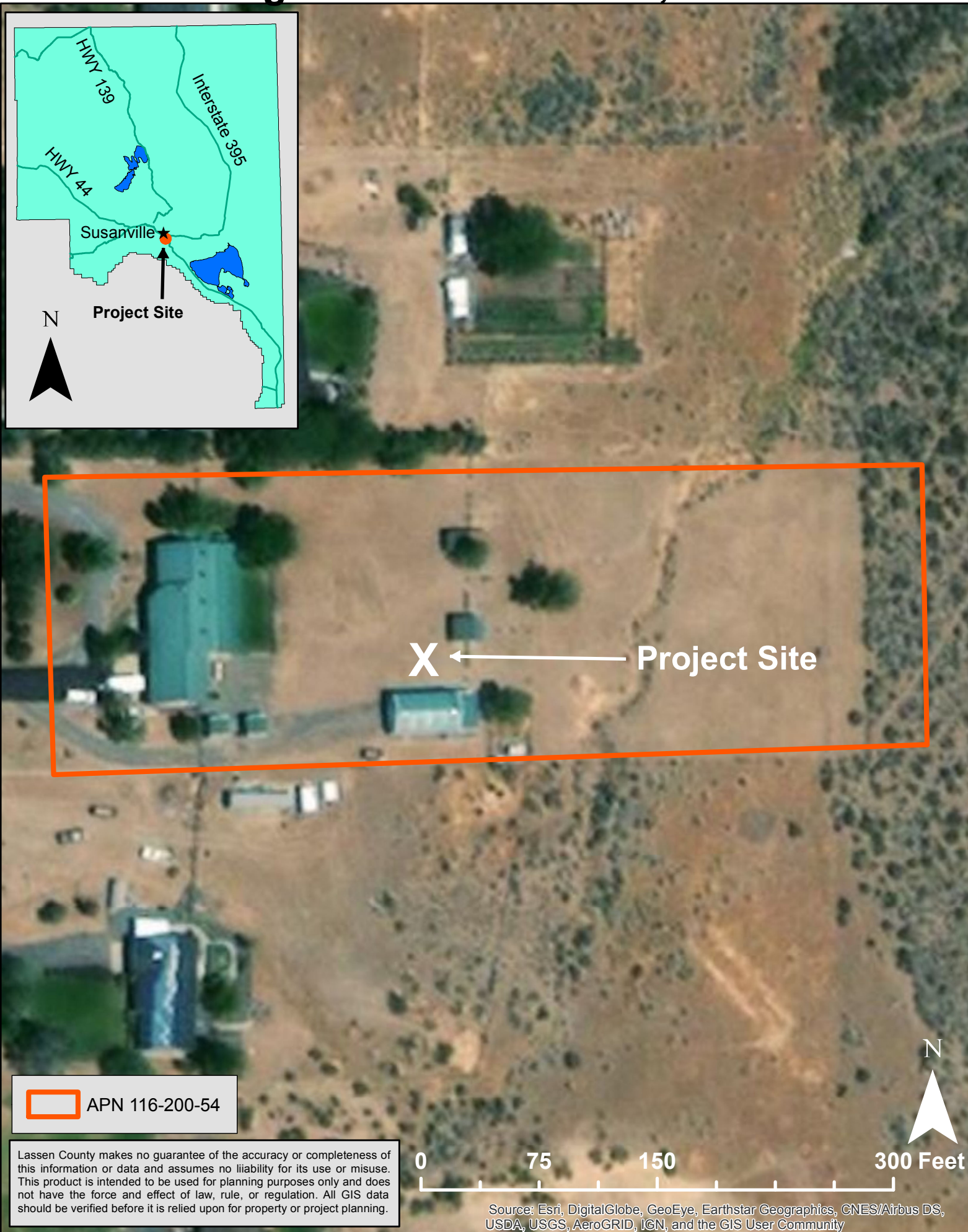


# Design Review #2020-002, Fisher





# Design Review #2020-002, Fisher







# DESIGN REVIEW APPLICATION

FILING FEE: \$130.00  
DEPARTMENT OF PLANNING AND BUILDING SERVICES  
707 Nevada Street, Suite 5 · Susanville, CA 96130-3912  
(530) 251-8269 · (530) 251-8373 (fax)  
www.co.lassen.ca.us

RECEIVED

JAN 31 2020

LASSEN COUNTY DEPARTMENT OF  
PLANNING AND BUILDING SERVICES

Form must be typed or printed clearly in black or blue ink. All sections must be completed in full.  
This application consists of two pages; only attach additional sheets if necessary.

FILE NO. DR#220-002

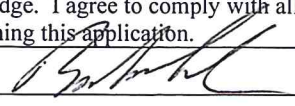
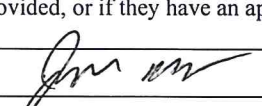
<b>Property Owner/s</b>	<b>Property Owner/s</b>
Name: Brian Fisher	Name:
Mailing Address: 471-030 Linco LN	Mailing Address:
City, ST, Zip: Susanville CA 96130	City, ST, Zip:
Telephone: 530-417-4968 Fax:	Telephone: Fax:
Email: bfisher58@sbcglobal.net	Email:

<b>Applicant/Authorized Representative*</b>	<b>Agent (Land Surveyor/Engineer/Consultant)</b>
Same as above: <input type="checkbox"/>	Correspondence also sent to: <input type="checkbox"/>
Name: Jonathan Nissley Frontier Builders	Name:
Mailing Address: 715-505 Blickenstaff Rd	Mailing Address:
City, ST, Zip: Janesville CA 96114	City, ST, Zip:
Telephone: 530-520-6667 Fax: 530-253-4144	Telephone: Fax:
Email: frontierbuilders@mcfmail.org	Email: License #:

<b>Project Address or Specific Location:</b>			
<b>Deed Reference:</b> Book:	Page:	Year:	Doc#:
<b>Zoning:</b> R1AB2.5	<b>General Plan Designation:</b>		
<b>Parcel Size (acreage):</b> +/- 2.5	Section:	Township:	Range:

<b>Assessor's Parcel Number(s):</b> 116 - 200 - 54	- -	- -
- -	- -	- -

<b>Project Description/Proposed Use of Structure:</b>
RV Cover

<b>SIGNATURE OF PROPERTY OWNER(S): I HEREBY ACKNOWLEDGE THAT:</b> I have read this application and state that the information given is both true and correct to the best of my knowledge. I agree to comply with all County ordinances and State laws concerning this application.	<b>*SIGNATURE OF APPLICANT/AUTHORIZED REPRESENTATIVE</b> (Representative may sign application on behalf of the property owner only if Letter of Authorization from the owner/s is provided, or if they have an appropriate contractor's license.)
 Date: 1-31-2020	 Date: 1-31-20
Date:	Date:

See associated process form for required attachments and instructions.

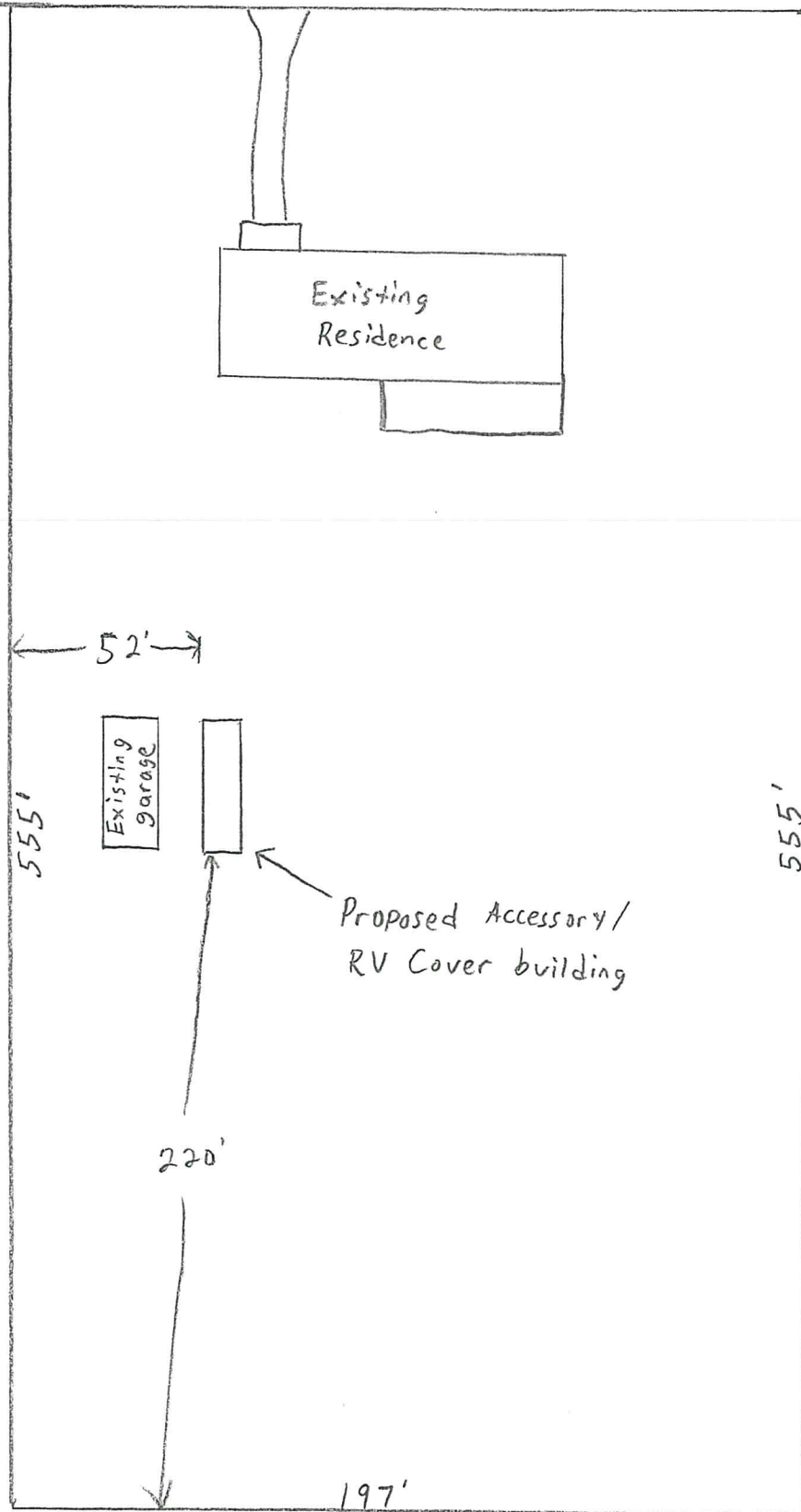






Indale  
Drive

Linco Lane



Plot Plan for : Brian and Trisha Fisher  
471-030 Linco LN  
Susanville CA 96130

Proposed new accessory  
Structure - RV Cover

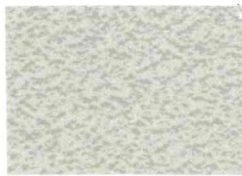


# COLOR CHART

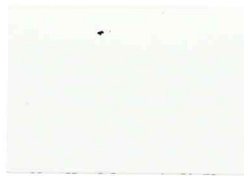


Not all colors and profiles are available at all locations.  
Please see back of color card for details.

## STANDARD COLORS



**ZINCALUME® Plus\***  
SRI: 64 • LRV: 67



**WINTER WHITE**  
SRI: 88 • LRV: 74



**SURF WHITE**  
SRI: 74 • LRV: 59



**LIGHT STONE**  
SRI: 70 • LRV: 53



**DESERT BEIGE**  
SRI: 58 • LRV: 39



**CASCADE GRAY**  
SRI: 57 • LRV: 41



**TAUPE**  
SRI: 53 • LRV: 28



**PATINA STEEL**  
SRI: 38 • LRV: 17



**CHESTNUT BROWN**  
SRI: 36 • LRV: 12



**CLASSIC BROWN**  
SRI: 29 • LRV: 7



**MATTE BLACK**  
SRI: N/A • LRV: 5



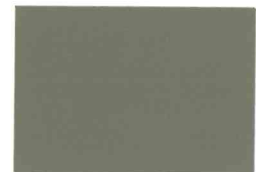
**CANYON RED**  
SRI: 45 • LRV: 16



**RUSTIC RED**  
SRI: 43 • LRV: 13



**OLD TOWN GRAY**  
SRI: 43 • LRV: 27



**OLD ZINC GRAY**  
SRI: 43 • LRV: 22



**WEATHERED COPPER**  
SRI: 32 • LRV: 11



**SLATE GRAY**  
SRI: 32 • LRV: 13



**TAHOE BLUE**  
SRI: 33 • LRV: 14



**OLIVE**  
SRI: 34 • LRV: 14



**EVERGLADE**  
SRI: 35 • LRV: 19



**DENALI GREEN**  
SRI: 29 • LRV: 11



**CYPRESS GREEN**  
SRI: 29 • LRV: 11



**FOREST GREEN**  
SRI: 36 • LRV: 8

## REPRESENTATION OF COLORS MAY VARY DUE TO PRINTING LIMITATIONS.

Sample color chips are available upon request. Consult your  
ASC Building Products representative for more information.

## PREMIUM COLORS



**COPPER PENNY¹**  
SRI: 54 • LRV: 28



**NATURAL RUST¹**  
SRI: 33 • LRV: 11  
(Subject to upcharge)



¹Please note these colors are batch sensitive (may have color variation) and are directional in nature. Different batches are not to be mixed on projects. We recommend that you request a sample of current stocked material to review actual color before ordering to ensure color accuracy. We are not responsible for color variations.

SRI=Solar Reflective Index. LRV=Light Reflectance Value. GA= Gauge of Steel. \*Clear acrylic coated  
SRI values in accordance with ASTM E1980 and are based on independent testing. Cool Roof Rating Council (CRR) performance values  
(for CA Title 24, Energy Star) are based on color families and will differ from those listed above. Please visit [www.ascbp.com](http://www.ascbp.com) for additional information.

### Customer Service Centers

Salem, OR: 503-390-7174 or 800-272-7023 | Spokane, WA: 509-536-4097 or 800-776-8771

[www.ascbp.com](http://www.ascbp.com)











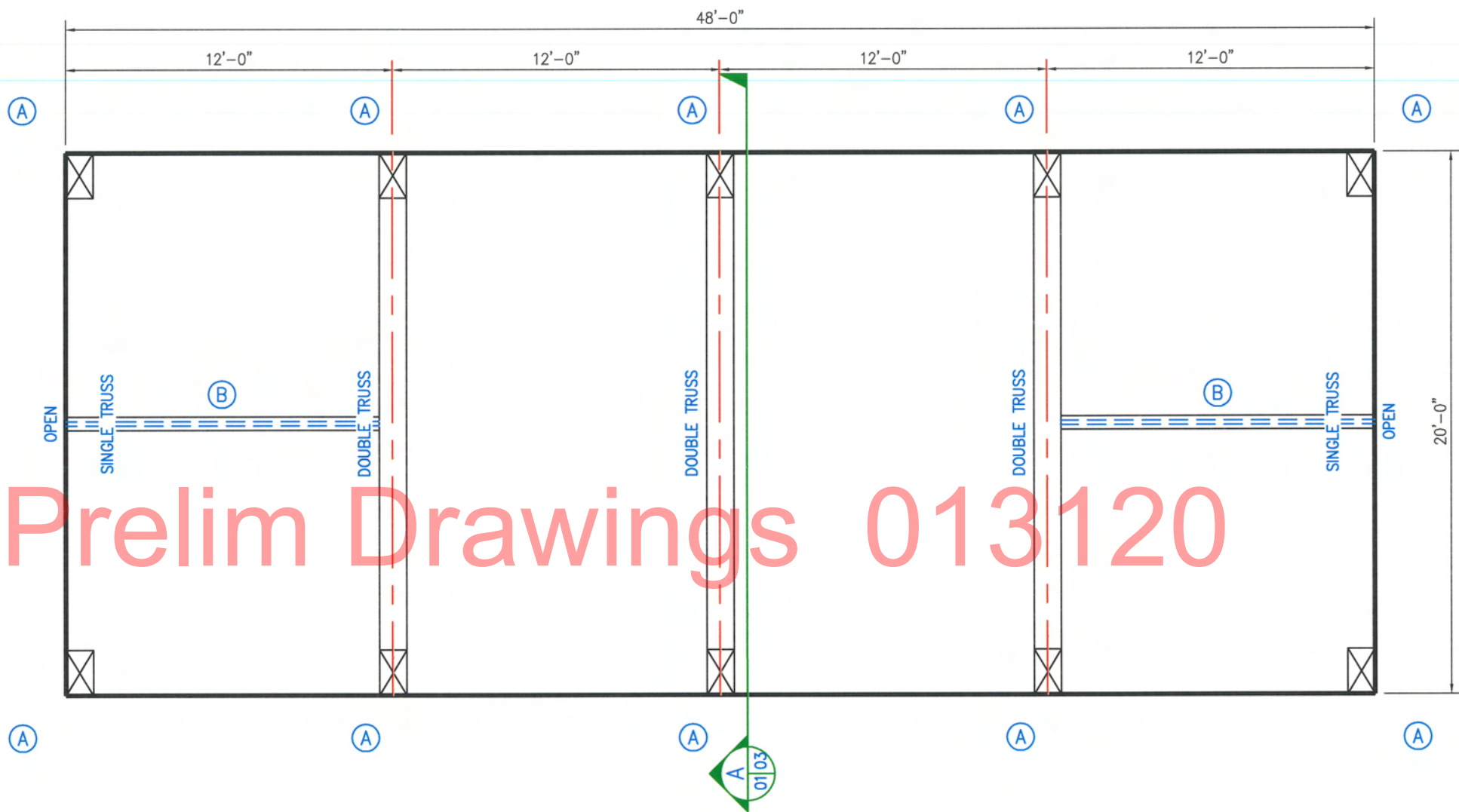









POST / BRACING NOTES	
ITEM	DESCRIPTION
(A)	6X10 P.T. #1 D-F S4S POST USE 4'-6" (MIN) EMBEDMENT DEPTH, 24"Ø FOOTING AND CONCRETE BACKFILL, NOTE ORIENTATION
(B)	LATERAL BRACE SEE DETAIL 2 ON FRAMING DETAILS DRAWING, INSTALL @ MID-SPAN OF OPEN BAY GABLE TRUSS

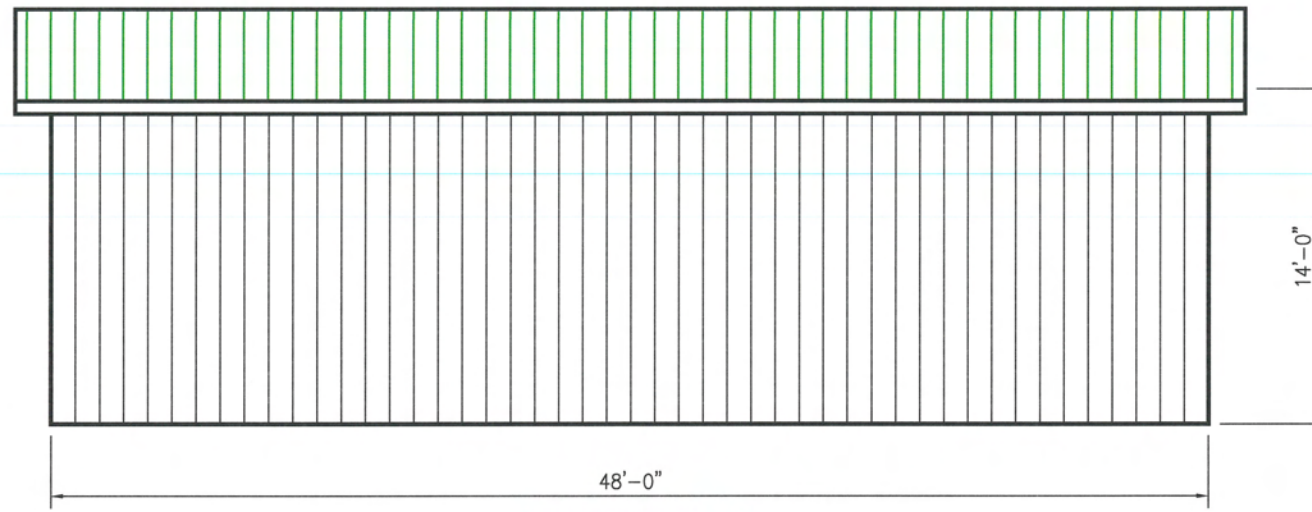


Prelim Drawings 013120

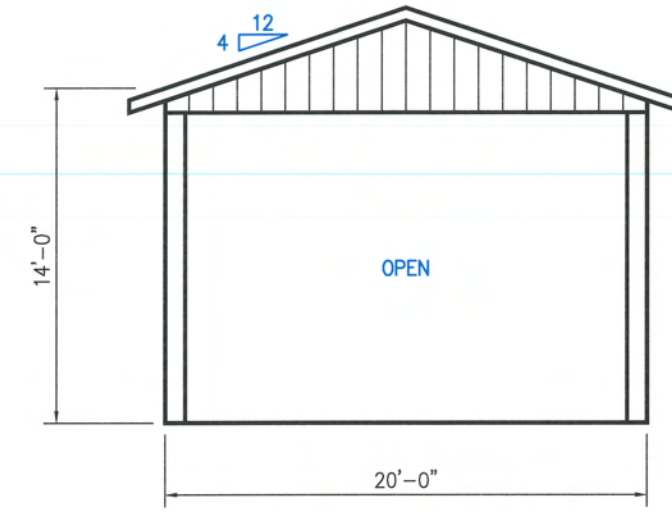
3/16" = 1'-0"

GENERAL NOTES	
1.	ALL POSTS EMBEDDED IN GROUND SHALL BE PRESSURE TREATED FOR BURIAL.

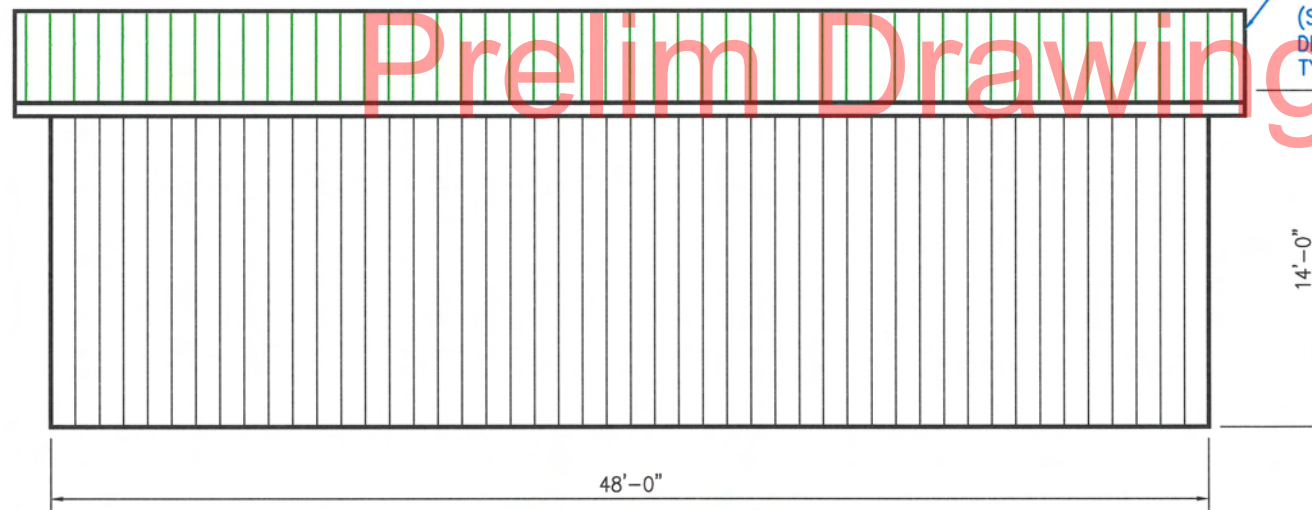
PLAN VIEW			
 <b>ALLIANCE ENGINEERING</b> aeOregon.com Specialists in Post Frame Engineering			
CLIENT		OWNER / BUILDING LOCATION	
FRONTIER BUILDERS 715-505 BLICKENSTAFF RD JANESVILLE, CA 96114		BRIAN FISHER 471-030 LINCO LANE SUSANVILLE, CA 96130	
DATE: 23 JAN 2020	DWG NO:	JOB NO:	REV:
DRAWN BY: JP	PLOT #: 64	PFB-01 of 07	1101920 0



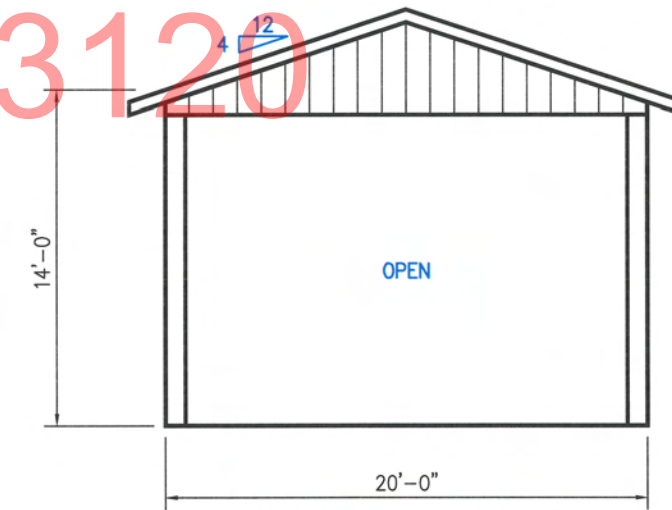
REAR EAVE VIEW



LEFT GABLE VIEW



FRONT EAVE VIEW



RIGHT GABLE VIEW

1/8" = 1'-0"

### ELEVATION VIEWS

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CLIENT		OWNER / BUILDING LOCATION	
FRONTIER BUILDERS 715-505 BLICKENSTAFF RD JANESVILLE, CA 96114		BRIAN FISHER 471-030 LINCO LANE SUSANVILLE, CA 96130	
DATE: 23 JAN 2020	DWG NO:	JOB NO:	REV:
DRAWN BY: JP	PLOT #: 96	PFB-02 of 07	1101920 0



NOTE: FLAT GIRTS W/ STRONGBACKS & PURLINS NOT SHOWN FOR CLARITY.

TOP GIRT & OUTRIGGER  
SEE DETAIL 1 ON  
OVERHANG DETAILS DRAWING

(1) 3/4" A-307 BOLT  
W/ NUT & FLAT WASHERS EA SIDE  
(LOCATE IN TRUSS HEEL PER DETAIL 2  
ON STANDARD DETAILS DRAWING)

TRUSS HEEL  
TYP (1) EA SIDE OF POST

(6) 16d OR 20d NAILS  
TYP IN EA TRUSS HEEL

(4) 3/4" A-307 BOLTS  
W/ NUT & FLAT WASHERS  
EA SIDE

2X CORBEL BLOCK TO MATCH POST WIDTH  
(SEE STANDARD DETAILS FOR  
BOLT SPACING & BLOCK LENGTH)  
TYP ON EA EAVE WALL POST  
UNDER EA TRUSS HEEL

(4) (MIN) 16d OR 20d NAILS  
TYP IN EA CORBEL BLOCK

EAVE POST

NOTE: ALL 2X BLOCKS SHALL BE FREE OF SPLITS,  
CHECKS & SHAKES, BEFORE & AFTER THE  
INSTALLATION OF NAILS/BOLTS

1 TYP TRUSS TO POST CONNECTION  
DOUBLE TRUSS TO EAVE POST CONNECTION  
N.T.S.

2X8 #2 D-F PURLINS @ 21" (MAX) O.C.  
NAIL TO BLOCKS W/ (3) 16d OR (2) 20d NAILS  
(EXCEPT AS NOTED ON OVERHANG DETAILS DRAWING)  
TYP

2X6 PURLIN BLOCKS  
NAIL EA TRUSS TOP CHORD TO BLOCKS  
W/ (2) 16d OR 20d NAILS EA SIDE  
(EXCEPT AS NOTED ON OVERHANG DETAILS DRAWING)  
TYP

PRE-ENGINEERED TRUSSES  
(BY OTHERS)

SEE DETAIL 1

POST

29 GA METAL SHEATHING  
TYP WALLS & ROOF

2X6 #2 D-F FLAT GIRTS W/ 2X4 #2 D-F STRONGBACKS @ 24" (MAX) O.C.  
NAIL FLAT GIRTS TO POST W/ (3) 16d OR (2) 20d NAILS EA END  
NAIL STRONGBACKS TO FLAT GIRTS W/ 16d OR 20d NAILS @ 6" O.C.  
TYP EAVE WALLS

P.T. BOTTOM GIRT  
NAIL TO POST W/ (6) 16d OR 20d NAILS EA END  
TYP

BACKFILL PER POST/BRACING  
NOTES ON PFB-01  
(SEE CONSTRUCTION NOTES)

6" THICK CONCRETE FOOTING  
(SEE CONSTRUCTION NOTES)

INSTALL (10) 20d NAILS  
2" DEEP INTO (2) OPP FACES  
TYP ALL POSTS

A TYP BUILDING CROSS SECTION  
01/03

#### BUILDING DATA:

WIDTH: 20'-0"  
LENGTH: 48'-0"  
EAVE HT: 14'-0"  
ROOF SLOPE: 4 IN 12  
TRUSS SPACING: 12'-0"

#### BUILDING CODE:

WIND LOAD: 95 MPH  
EXPOSURE: C  
GROUND SNOW LOAD: 58 PSF  
ROOF SNOW LOAD: 49 PSF  
DEAD LOAD: 5 PSF  
SOIL BEARING: 1.5 KSF  
SEISMIC CATEGORY: D  
CBC: 2019

#### GENERAL NOTES

- GIRTS MAY BE INSTALLED COMMERCIAL STYLE AT 24" O.C. BY THE CONTRACTOR WITH 2X BLOCKING BETWEEN MEMBERS OR WITH SIMPSON LU26 HANGERS (OR EQUAL). IF 2X BLOCKING IS USED, THEN NAIL BLOCKING TO POST WITH (6) 20d OR (6) 16d NAILS (MIN). NAIL GIRTS TO BLOCKING WITH (2) 20d OR (3) 16d NAILS AT EACH END.
- PURLINS MAY BE INSTALLED WITH SIMPSON LU28 HANGERS OR EQUAL (SEE NOTE 12 ON CONSTRUCTION NOTES DRAWING), OVER-LAPPED, OR BUTTED ON THE TRUSSES AS REQUIRED BY THE CONTRACTOR. IF HANGERS ARE USED, INSTALL OVERHANGS PER DETAIL 2 ON OVERHANG DETAILS DRAWING.

Prelim Drawings 013120

1/4" = 1'-0"

#### SECTION A

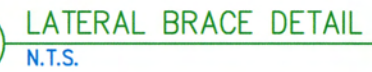
**AE ALLIANCE** aeOregon.com  
**ENGINEERING**  
Specialists in Post Frame Engineering

CLIENT	OWNER / BUILDING LOCATION
FRONTIER BUILDERS 715-505 BLICKENSTAFF RD JANESVILLE, CA 96114	BRIAN FISHER 471-030 LINCO LANE SUSANVILLE, CA 96130
DATE: 23 JAN 2020	DWG NO: PFB-03 of 07
DRAWN BY: JP	PLOT 48
JOB NO: 1101920	REV: 0

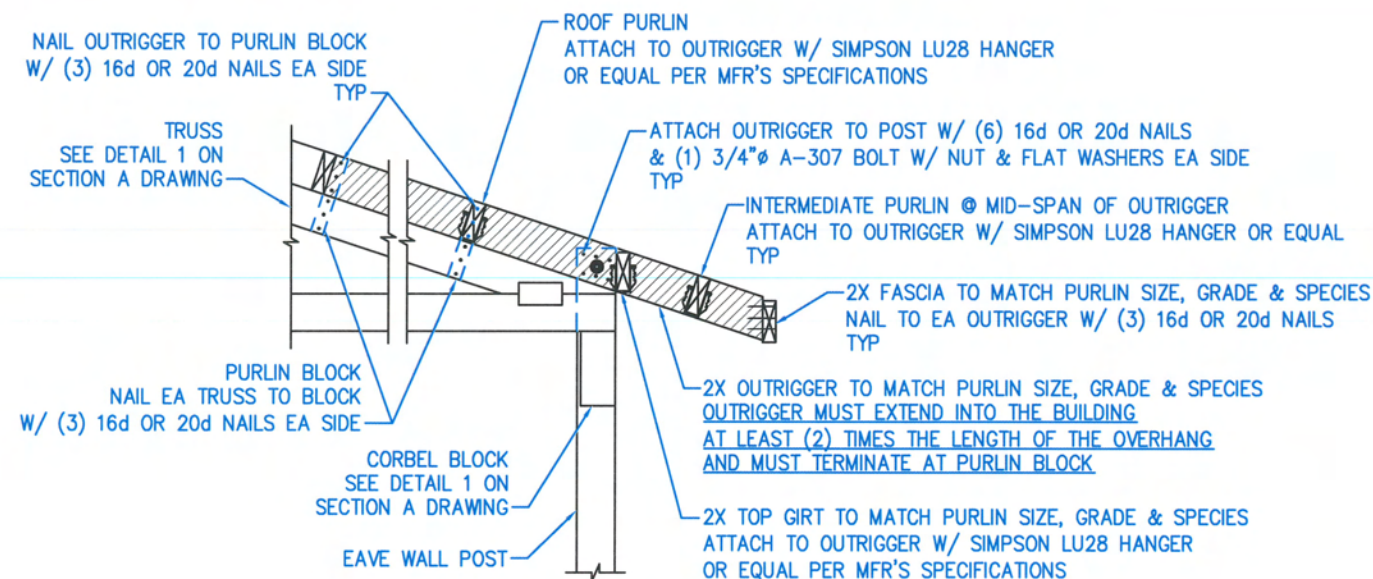




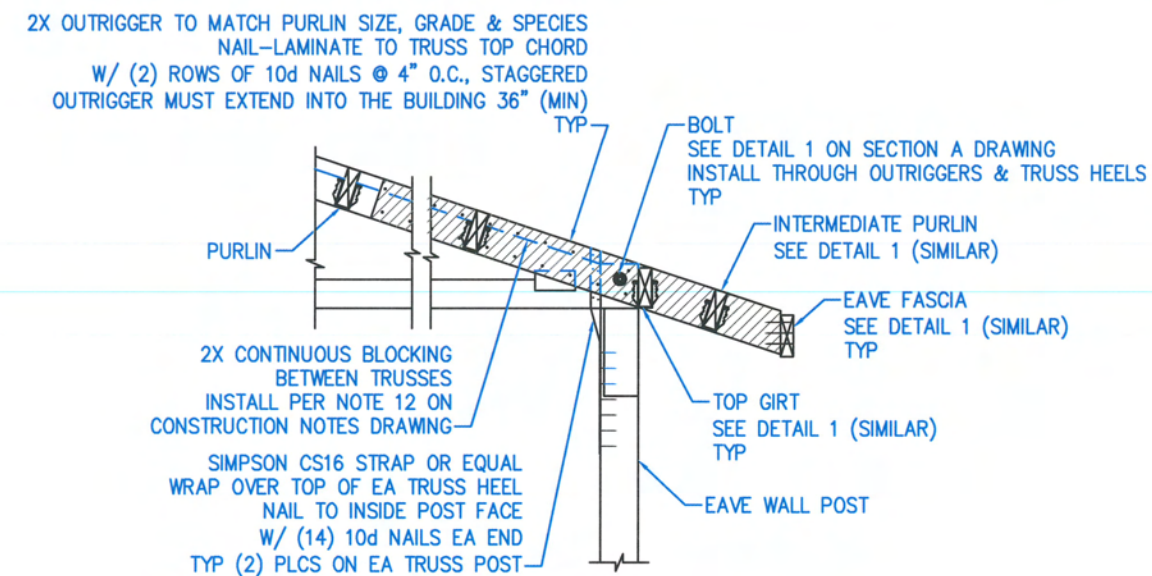
GABLE TRUSS @ CORNER POST CONNECTION  
N.T.S.





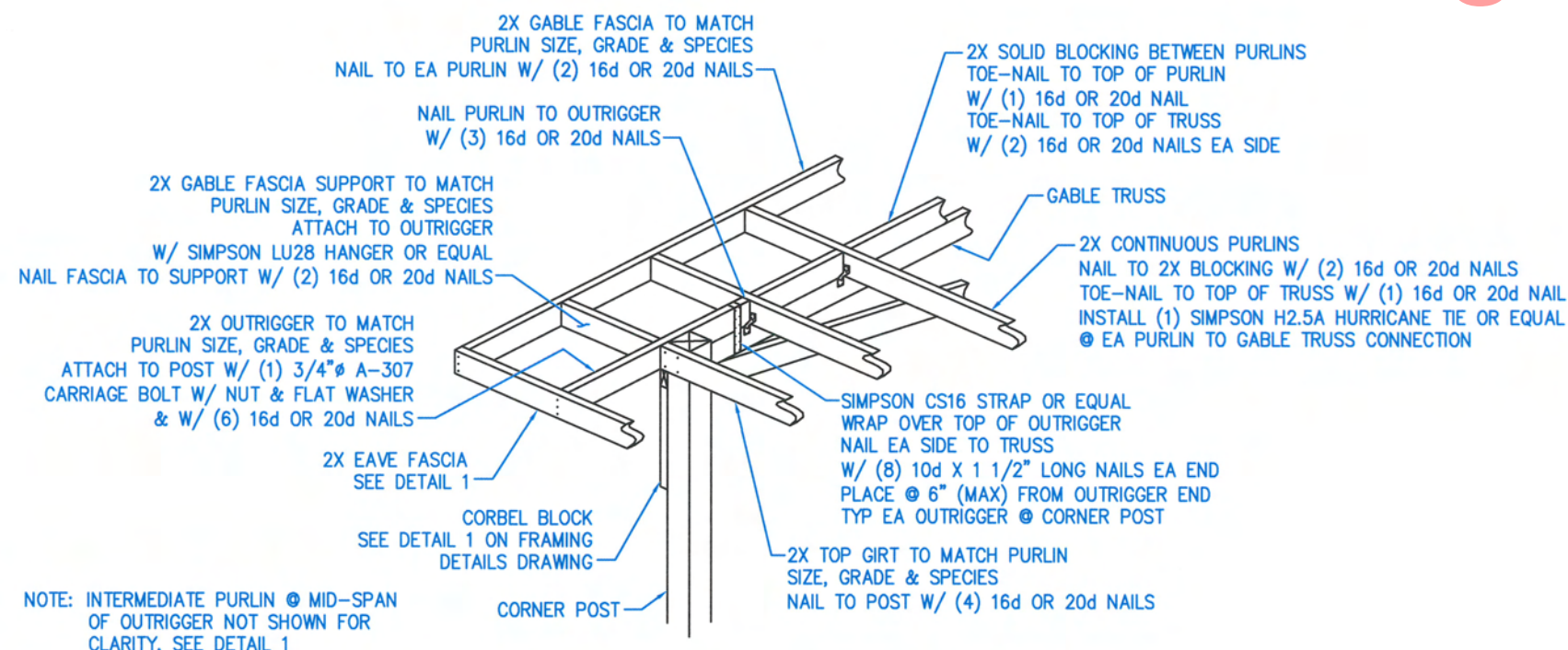


1 TYPICAL EAVE WALL OVERHANG DETAIL  
STACKED PURLINS @ TRUSS  
N.T.S.



2 ALTERNATE EAVE WALL OVERHANG DETAIL  
HUNG PURLINS @ TRUSS  
N.T.S.

# Prelim Drawings 013120



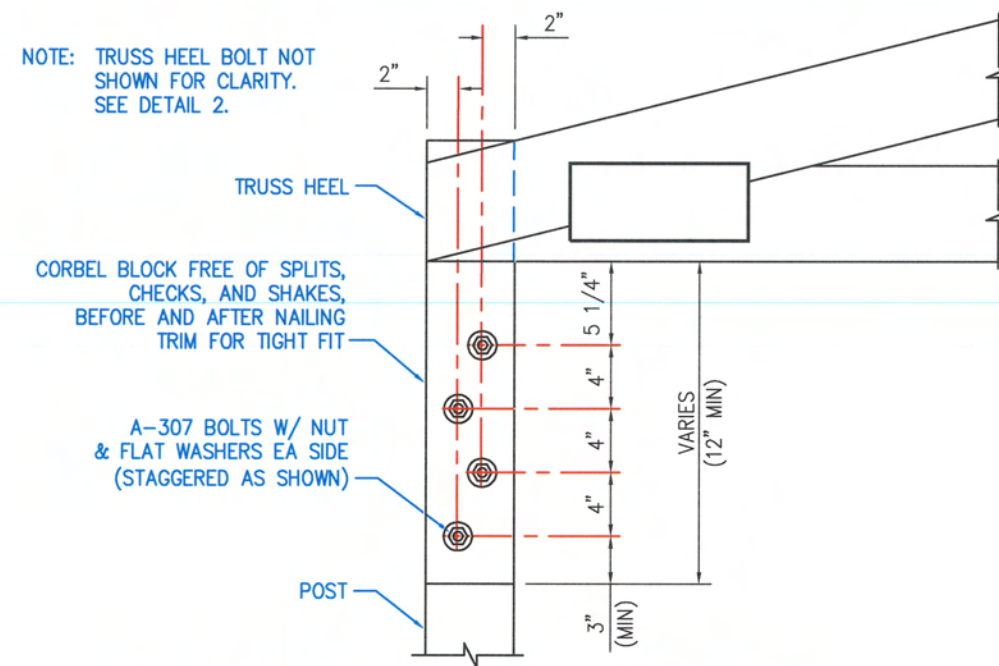
3 TYPICAL GABLE WALL OVERHANG DETAIL  
N.T.S.

## OVERHANG DETAILS

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CLIENT	OWNER / BUILDING LOCATION
FRONTIER BUILDERS 715-505 BLICKENSTAFF RD JANESVILLE, CA 96114	BRIAN FISHER 471-030 LINCO LANE SUSANVILLE, CA 96130
DATE: 23 JAN 2020	DWG NO: PF B-05 of 07
DRAWN BY: JP	PLOT @: 24
JOB NO: 1101920	REV: 0





NOTE: TRUSS HEEL BOLT NOT SHOWN FOR CLARITY. SEE DETAIL 2.

TRUSS HEEL

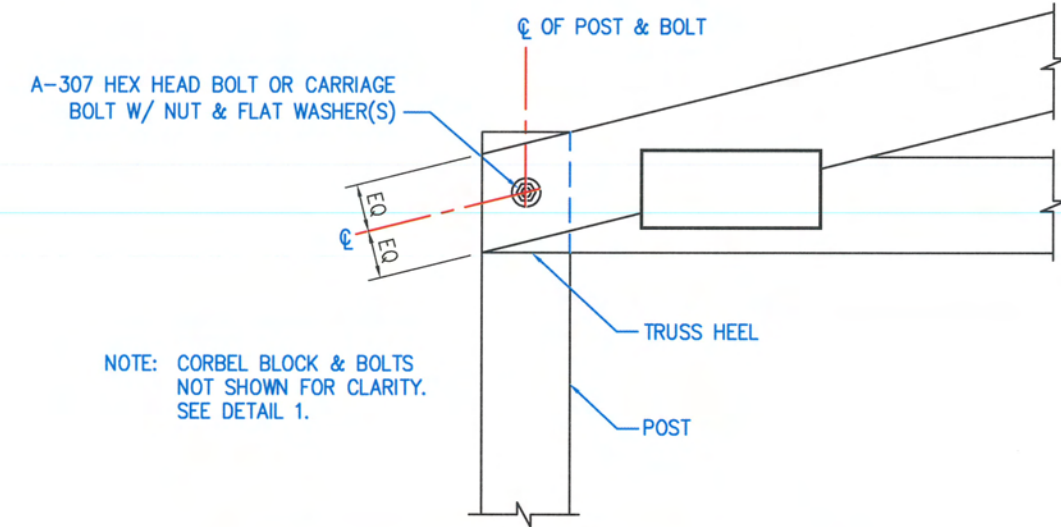
CORBEL BLOCK FREE OF SPLITS, CHECKS, AND SHAKES, BEFORE AND AFTER NAILING TRIM FOR TIGHT FIT

A-307 BOLTS W/ NUT & FLAT WASHERS EA SIDE (STAGGERED AS SHOWN)

POST

NOTE: THIS DETAIL IS FOR BOLT LOCATION AND CORBEL BLOCK SIZING ONLY. SEE SECTION A DRAWING FOR ACTUAL BOLT SIZE AND QUANTITY REQUIRED. SEE NOTE 10 ON CONSTRUCTION NOTES DRAWING.

### 1 CORBEL BLOCK FOR (2) OR MORE BOLTS



A-307 HEX HEAD BOLT OR CARRIAGE BOLT W/ NUT & FLAT WASHER(S)

CL OF POST & BOLT

EQ EQ

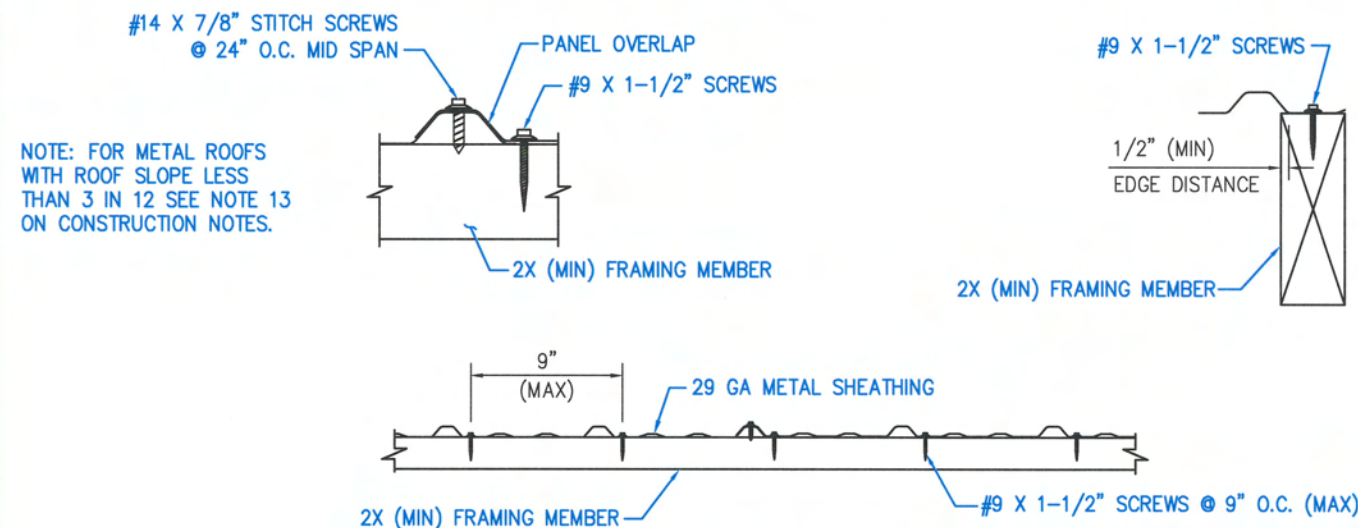
TRUSS HEEL

POST

NOTE: CORBEL BLOCK & BOLTS NOT SHOWN FOR CLARITY. SEE DETAIL 1.

NOTE: THIS DETAIL IS FOR BOLT LOCATION ONLY. SEE SECTION A DRAWING & FRAMING DETAILS DRAWING FOR ACTUAL BOLT SIZE REQUIRED. SEE NOTE 10 ON CONSTRUCTION NOTES DRAWING.

### 2 TRUSS HEEL BOLT FOR (1) TRUSS HEEL BOLT



NOTE: FOR METAL ROOFS WITH ROOF SLOPE LESS THAN 3 IN 12 SEE NOTE 13 ON CONSTRUCTION NOTES.

2X (MIN) FRAMING MEMBER

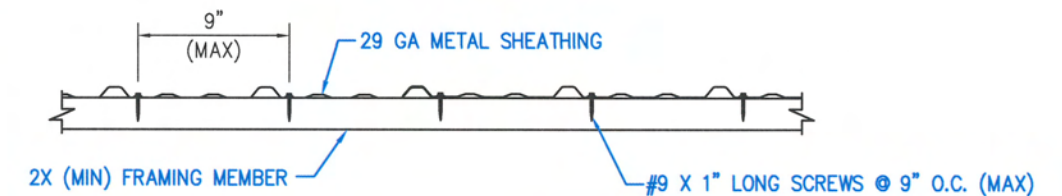
2X (MIN) FRAMING MEMBER

FASTEN THE 29 GA METAL SHEATHING TO THE FRAMING MEMBERS USING #9 X 1-1/2" AT 9" O.C. ADJACENT TO EACH OF THE MAJOR RIBS. PARALLEL TO THE PANEL RIBS, AT TERMINATING EDGES OF ROOF, WALLS AND ALL OPENINGS, THE #9 X 1-1/2" SCREWS SHALL BE SPACED AT 12" O.C. (ADDITIONAL BLOCKING MAY BE REQUIRED TO ACHIEVE PROPER SCREW SPACING AT TERMINATING EDGES). THE FASTENERS SHALL BE 1/2" (MIN) FROM PANEL EDGES. THE DECK SIDE LAPS SHALL BE FASTENED TOGETHER WITH #14 X 7/8" LONG SELF DRILLING SCREWS MID SPAN BETWEEN THE SUPPORTS AT 24" O.C. (MAX). INCREASE LENGTH OF #9 SCREWS BY THICKNESS OF ANY APPLIED SUBSHEATHING.

### 3 ALTERNATE SCREW SCHEDULE N.T.S.

NOTE: FOR METAL ROOFS WITH ROOF SLOPE LESS THAN 3 IN 12 SEE NOTE 13 ON CONSTRUCTION NOTES.

NOTE: NO STITCH SCREWS REQUIRED



FASTEN THE 29 GA METAL SHEATHING TO THE FRAMING MEMBERS USING #9 X 1" AT 9" O.C. ADJACENT TO EACH OF THE MAJOR RIBS. THE FASTENERS SHALL BE 1/2" (MIN) FROM PANEL EDGES. INCREASE LENGTH OF #9 SCREWS BY THICKNESS OF ANY APPLIED SUBSHEATHING.

### 4 TYPICAL SCREW SCHEDULE N.T.S.

## STANDARD DETAILS

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Specialists in Post Frame Engineering

CLIENT	OWNER / BUILDING LOCATION
FRONTIER BUILDERS 715-505 BLICKENSTAFF RD JANESVILLE, CA 96114	BRIAN FISHER 471-030 LINCO LANE SUSANVILLE, CA 96130
DATE: 23 JAN 2020	DWG NO: PFB-06 of 07
DRAWN BY: JP	PLOT 12
JOB NO: 1101920	REV: 0



POLE BUILDING CONSTRUCTION NOTES:

1. UNLESS NOTED OTHERWISE, ALL CONCRETE  $f'_c$  SHALL BE 2500 PSI MINIMUM AT 28 DAYS. THE CONCRETE SHALL BE MIXED IN THE CORRECT PROPORTIONS PRIOR TO PLACEMENT. NO SPECIAL INSPECTION IS REQUIRED.

2. ALL SOLID SAWN LUMBER 5"x5" AND LARGER SHALL BE VISUALLY GRADED TIMBERS UNLESS OTHERWISE NOTED. ALL FRAMING LUMBER SHALL BE AT LEAST THE MINIMUM NOTED ON THE DRAWINGS. LUMBER NOT SPECIFICALLY CALLED OUT MAY BE STANDARD OR BETTER. No. 2 DOUG-FIR MAY BE SUBSTITUTED FOR No. 2 HEM-FIR. MSR1650 MAY BE SUBSTITUTED FOR No. 2 DOUG-FIR.

3. ALL POSTS SHALL BE CENTERED IN THE POSTHOLES. ALL POST EMBEDMENT DEPTHS SHALL BE MEASURED FROM THE TOP OF THE CONCRETE PAD TO TOP OF GRADE. IF SOLID ROCK IS ENCOUNTERED, THE CONCRETE PAD MAY BE OMITTED PROVIDED THE POST BEARS DIRECTLY ON SOLID ROCK. POSTS SHALL BE EMBEDDED INTO UNDISTURBED NATIVE SOIL AT THE EMBEDMENT DEPTHS SPECIFIED. IF FILL IS PLACED ON THE SITE, THE POSTHOLE DEPTHS SHALL BE INCREASED AS REQUIRED TO PROVIDE UNDISTURBED NATIVE SOIL UNLESS THE FILL HAS BEEN TESTED BY A CERTIFIED SOILS TESTING LABORATORY TO BE 95% COMPACTED.

4. IF THE DRAWINGS SPECIFY CONCRETE BACKFILL IN THE POSTHOLES, THE BACKFILL SHALL BE THE MINIMUM PSI AS SPECIFIED IN NOTE 1, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL INSTALL (10) 20d NAILS 2" DEEP INTO (2) OPPOSITE POST FACES ON EACH POST BELOW GRADE. NAILS MAY BE OMITTED IN FULLY ENCLOSED BUILDINGS WITH A STRUCTURAL 4" (MIN) CONCRETE FLOOR. PROVIDE 6" THICK CONCRETE FOOTING TO MATCH HOLE DIAMETER.

5. IF THE DRAWINGS SPECIFY GRANULAR BACKFILL IN THE POSTHOLES, THE BACKFILL SHALL BE 5/8" TO 3/4" (-) GRAVEL OR CRUSHED ROCK. THE CONTRACTOR SHALL INSURE THAT THE BACKFILL IS SATURATED PRIOR TO BACKFILLING AND IS COMPACTED AFTER EACH 6" LIFT. PROVIDE 6" THICK CONCRETE FOOTING TO MATCH HOLE DIAMETER.

6. IF THE DRAWINGS SPECIFY NATURAL BACKFILL IN THE POSTHOLES, THE BACKFILL SHALL BE WELL-GRADED NATIVE SOIL (FREE FROM ALL ORGANICS AND LARGE COBBLES). THE CONTRACTOR SHALL INSURE THAT THE BACKFILL IS SATURATED PRIOR TO BACKFILLING AND IS COMPACTED AFTER EACH 6" LIFT. PROVIDE 6" THICK CONCRETE FOOTING TO MATCH HOLE DIAMETER.

7. ALL WOOD MEMBERS, FRAMING REQUIREMENTS AND CONNECTIONS SHALL COMPLY WITH THE BUILDING CODE LISTED ON THESE DRAWINGS. INSTALL EXTERIOR FLASHING PER THE BUILDING CODE LISTED ON THESE DRAWINGS, AND IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. INSTALL VENTILATION AS REQUIRED AND IN ACCORDANCE WITH THE BUILDING CODE LISTED ON THESE DRAWINGS.
8. ALL FASTENERS DRIVEN INTO, BOLTED THROUGH, OR STEEL CONNECTORS EXPOSED TO PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED, STAINLESS STEEL, OR APPLIED WITH MANUFACTURER'S PROPRIETARY CORROSION RESISTIVE COATING.

9. OFF LOADING & HANDLING AND TEMPORARY & PERMANENT BRACING OF ALL TRUSSES SHALL COMPLY WITH BUILDING COMPONENT SAFETY INFORMATION PUBLICATIONS BCSI-B1 AND BCSI-B10. INSURE THAT ALL BRACING AND BEARING AREA REQUIRED BY THE MANUFACTURER OF THE PRE-ENGINEERED TRUSSES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

10. PROTECTIVE COVERING OR COATING SHALL BE PROVIDED FOR ALL CORBEL BLOCKS, BOLTS, TRUSS AND/OR RAFTER HEELS AND WOOD FASCIAS DIRECTLY EXPOSED TO THE ELEMENTS.

11. UNLESS NOTED OTHERWISE, GIRTS AND PURLINS HAVE BEEN DESIGNED FOR STRESS ONLY. THEY HAVE NOT BEEN DESIGNED FOR THE DIRECT ATTACHMENT OF INTERIOR FINISHES.

12. IF PURLINS ARE INSTALLED WITH JOIST HANGERS, OMIT THE PURLIN BLOCKS AND INSTALL 2X CONTINUOUS BLOCKING TO MATCH POST WIDTH BETWEEN RAFTERS/TRUSS TOP CHORDS. LOCATE BLOCKING AT THE TOP OF THE RAFTERS/TRUSS TOP CHORDS AND NAIL EACH SIDE WITH 16d NAILS AT 12" (MAX) O.C.. CONTRACTOR TO VERIFY THAT THE WIDTH OF THE TRUSS TOP CHORD IS EQUAL TO OR GREATER THAN THE PURLIN WIDTH, PRIOR TO CONSTRUCTION.

13. INSTALL ALL STEEL SHEATHING TO THE INTERIOR FRAMING MEMBERS (GIRTS AND PURLINS) PER THE TYPICAL SCREW SCHEDULE GIVEN ON THE STANDARD DETAILS DRAWING UNLESS NOTED OTHERWISE. FOR NON-STANDING SEAM METAL ROOFS WITH ROOF SLOPE OF LESS THAN 3 IN 12 AND STANDING SEAM METAL ROOFS WITH ROOF SLOPE OF 1/4 IN 12, APPLY LAP SEALANT PER MANUFACTURER'S SPECIFICATIONS IN ACCORDANCE WITH THE BUILDING CODE LISTED ON THESE DRAWINGS.

14. IF THE DRAWINGS SHOW POLYCARBONATE LIGHT PANELS, BOTH ENDS OF THE PANELS MUST TERMINATE AT A WALL GIRT. WALL GIRTS THAT LIGHT PANELS ARE ATTACHED TO MUST BE FASTENED TO THE POSTS WITH (4) 16d OR 20d NAILS AT EACH END UNLESS COMMERCIAL GIRTS ARE USED.

15. UNLESS NOTED OTHERWISE, INSTALL ALL SIMPSON HARDWARE PER MANUFACTURER'S SPECIFICATIONS.

16. WHEN APPLICABLE, WORK SHALL ALSO COMPLY WITH THE FOLLOWING:  
2019 CALIFORNIA RESIDENTIAL CODE (CRC)  
2019 CALIFORNIA MECHANICAL CODE (CMC)  
2019 CALIFORNIA PLUMBING CODE (CPC)  
2019 CALIFORNIA ELECTRICAL CODE (CEC)

ABBREVIATIONS & SYMBOLS:

B.O.	BOTTOM OF	OPP	OPPOSITE
BTR	BETTER	PLCS	PLACES
CONT.	CONTINUOUS	P.T.	PRESSURE TREATED
DD	DUTCH DOOR	R/O	ROUGH OPENING
D-F	DOUGLAS FIR	SLD	SLIDER DOOR
EA	EACH	SPF	SPRUCE PINE FIR
F/O	FRAMED OPENING	SS	SELECT STRUCTURAL
GA	GAUGE	SYP	SOUTHERN YELLOW PINE
GLB	GLUE LAM BEAM	TYP	TYPICAL
H-F	HEMLOCK FIR	T.O.	TOP OF
HDG	HOT-DIP GALVANIZED	U.N.O.	UNLESS NOTED OTHERWISE
MD	MAN DOOR	W	WINDOW
MFR'S	MANUFACTURER'S	W/	WITH
MSR	MACHINE STRESS RATED	Ø	AT
O.C.	ON CENTER	Ø	DIAMETER

CONSTRUCTION NOTES



CLIENT		OWNER / BUILDING LOCATION	
FRONTIER BUILDERS 715-505 BLICKENSTAFF RD JANESVILLE, CA 96114		BRIAN FISHER 471-030 LINCO LANE SUSANVILLE, CA 96130	
DATE: 23 JAN 2020	DWG NO: PFB-07 of 07	JOB NO: 1101920	REV: 0
DRAWN BY: JP	PLOT 1		