



County of Lassen
Department of Planning and Building Services

• Planning • Building Permits • Code Enforcement • Surveyor • Surface Mining

February 5, 2020

Maurice L. Anderson, Director
707 Nevada Street, Suite 5
Susanville, CA 96130-3912
Phone: 530 251-8269
Fax: 530 251-8373
email: landuse@co.lassen.ca.us
website: www.co.lassen.ca.us

TO: Architectural Review Committee
Agenda Date: February 6, 2020

Zoning & Building
Inspection Requests
Phone: 530 257-5263

FROM: Maurice L. Anderson, Director

SUBJECT: **DESIGN REVIEW #2020-001, Jeff and Meredith Chew.** The applicants are proposing a 1,800-square-foot accessory building that deviates from the siding requirements of Lassen County Code § 18.108.235. Deviation from these requirements is allowed upon approval by the Architectural Review Committee through the Design Review process. The project site is zoned A-2-B-10 (Agricultural Residential 10-Acre Building Site Combining District) and its land use designation is "Rural Residential" in the *Lassen County General Plan, 2000*, as amended by the *Janesville Planning Area, 1993*. The project site is located approximately 13 miles southeast of Susanville and 0.25 miles west of U.S. Highway 395 at 713-560 Oak Tree Lane, Janesville, CA 96114. APN: 129-630-11. Staff Contact: Nancy McAllister, Associate Planner

The Lassen County Department of Planning and Building Services recommends the following findings:

1. The project site is zoned A-2-B-10 (Agricultural Residential 10-Acre Building Site Combining District) and has a land use designation of "Rural Residential" pursuant to the *Lassen County General Plan, 2000*, as amended by the *Janesville Planning Area, 1993*.
2. Existing improvements on site include a 1,521-square-foot single family residence, a detached garage, and two metal-sided accessory buildings (measuring approximately 1,200 square feet and 400 square feet).
3. The applicants are proposing 1,800-square-foot accessory building ("home shop/garage") that deviates from the siding requirements of Lassen County Code § 18.108.235. Said section requires that metal and vinyl siding materials be used in conjunction with wood composite siding, natural wood, stucco, masonry, concrete, or natural colored stone.
4. The applicant is proposing 100% metal siding in colors matching the existing residence.
5. The applicant is proposing a 4/12 roof pitch and 18" eave overhangs and gabled ends.
6. The proposed accessory building meets all requirements set forth in Lassen County Code § 18.18.050 (Development Standards) for A-2 zoning districts, including the 35-foot building height limit, the 35 percent maximum lot coverage limit, and all of the setback distances.

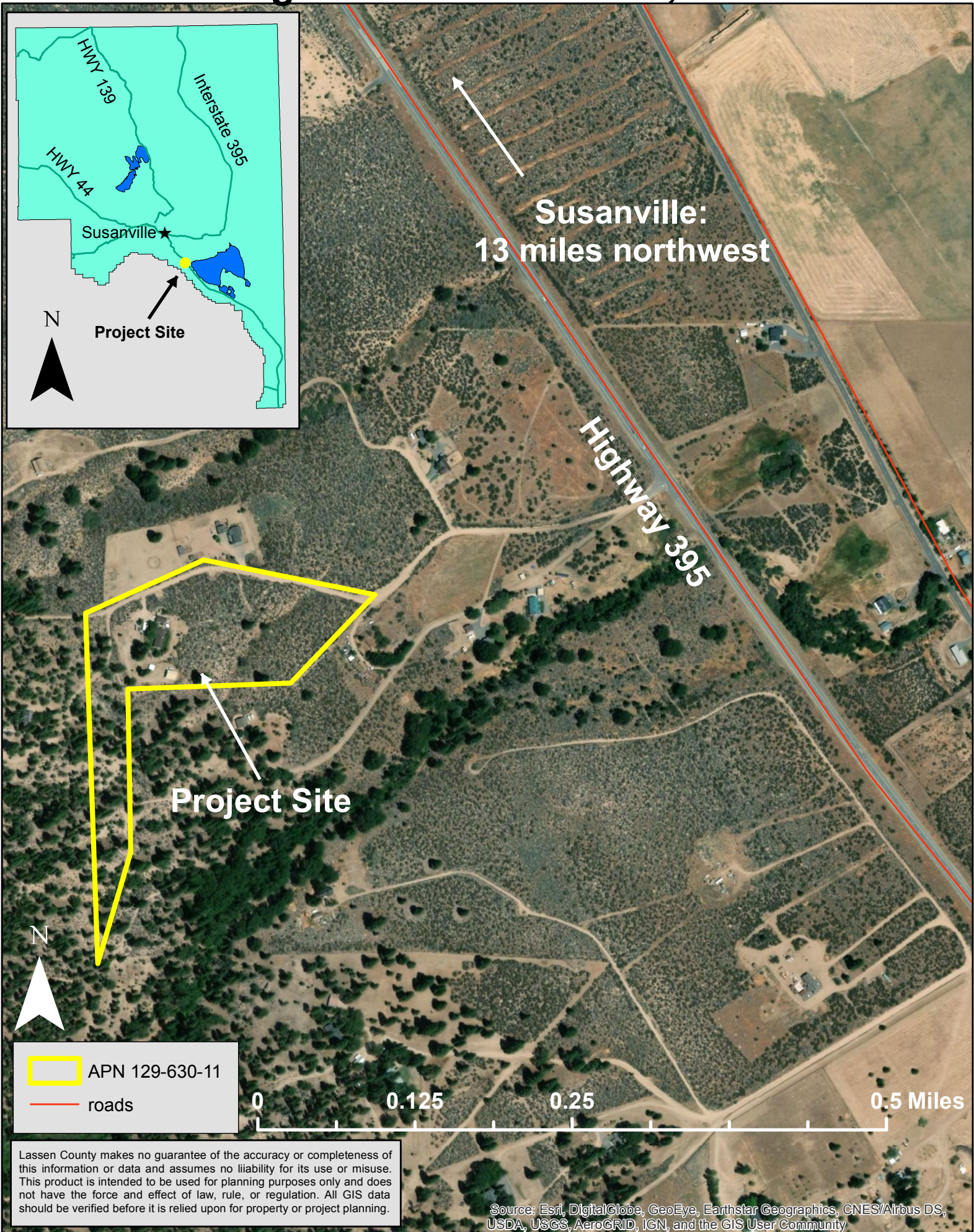
7. The proposed accessory building meets the 30-foot setback distance required by the Lassen County 502 Ordinance set forth in Lassen County Code § 9.16.103(d)(1)(A), and California Code of Regulations § 1276.01.
8. Pursuant to Lassen County Code § 18.118 (Design Review), the Architectural Review Committee may make one of the following determinations:
 - a. Approve the application as submitted; or
 - b. Suggest any changes in the plans it deems necessary to accomplish the purpose of the design district or applicable standards; or
 - c. Refer the application to the Planning Commission for decision.

Code Requirements

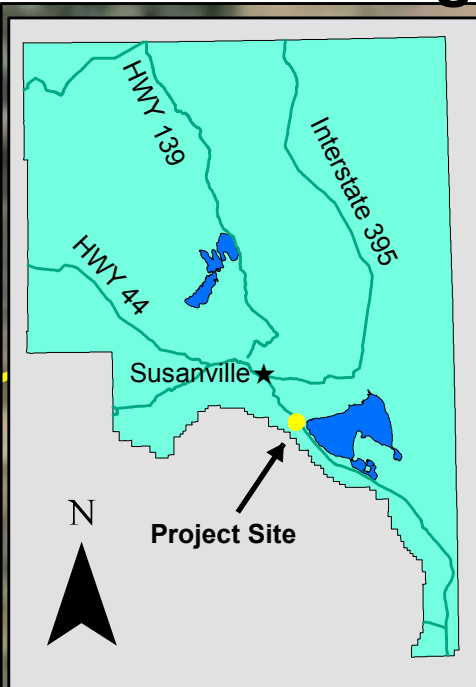
1. The applicant will secure a building permit from the Department of Planning and Building Services before construction of the proposed accessory building.
2. The metal siding of the proposed accessory building must be treated with an oxidation inhibitor and shall have a no-glare surface.
3. The proposed accessory building shall not be painted in florescent, luminescent, or other extreme colors, which detract from the appearance of the neighboring property, the community as a whole or the natural environment.

MLA:njm

Design Review #2020-001, Chew



Design Review #2020-001, Chew



Project Site —————> X

APN 129-630-11

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0 50 100 200 Feet

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



DESIGN REVIEW APPLICATION

FILING FEE: \$130.00
DEPARTMENT OF PLANNING AND BUILDING SERVICES
707 Nevada Street, Suite 5 · Susanville, CA 96130-3912
(530) 251-8269 · (530) 251-8373 (fax)
www.co.lassen.ca.us

RECEIVED

JAN 23 2020

LASSEN COUNTY DEPARTMENT OF
PLANNING AND BUILDING SERVICES

Form must be typed or printed clearly in black or blue ink. All sections must be completed in full.
This application consists of two pages; only attach additional sheets if necessary.

FILE NO. DR #2020-001

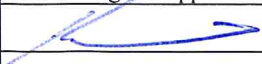
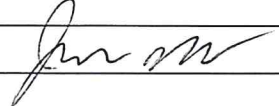
Property Owner/s	Property Owner/s
Name: Jeff + Meredith Chew	Name:
Mailing Address: 713-560 Oak Tree Ln	Mailing Address:
City, ST, Zip: Janerville CA 96114	City, ST, Zip:
Telephone: (530) 251-7618 Fax:	Telephone: Fax:
Email: JChew@frontier.com	Email:

Applicant/Authorized Representative*	Agent (Land Surveyor/Engineer/Consultant)
Same as above: <input type="checkbox"/>	Correspondence also sent to: <input type="checkbox"/>
Name: Jonathan Missley Frontier Builders	Name:
Mailing Address: 715-505 Blickenstaff Rd	Mailing Address:
City, ST, Zip: Janerville CA 96114	City, ST, Zip:
Telephone: 530-520-6667 Fax: 530-253-4144	Telephone: Fax:
Email: frontierbuilders@mcfmail.org	Email: License #:

Project Address or Specific Location:			
Deed Reference: Book:	Page:	Year:	Doc#:
Zoning: A-2-B-10	General Plan Designation:		
Parcel Size (acreage):	Section:	Township:	Range:

Assessor's Parcel Number(s):	129 - 630 - 11	-	-	-	-
-	-	-	-	-	-

Project Description/Proposed Use of Structure:
Home shop / Garage

SIGNATURE OF PROPERTY OWNER(S): I HEREBY ACKNOWLEDGE THAT: I have read this application and state that the information given is both true and correct to the best of my knowledge. I agree to comply with all County ordinances and State laws concerning this application.	*SIGNATURE OF APPLICANT/AUTHORIZED REPRESENTATIVE (Representative may sign application on behalf of the property owner only if Letter of Authorization from the owner/s is provided, or if they have an appropriate contractor's license.)
 Date: 1-24-2020	 Date: 1-22-20
Date:	Date:

See associated process form for required attachments and instructions.

Application for design review may be prepared by the property owner or his qualified agent and shall be accompanied by drawings or sketches made clear and legible on sheets of paper at least 8½"x11" in size. Three (3) copies of such applications for design approval shall be submitted to the Planning Department and shall include, but not be limited to, the following information:

1. Plot Plan/Layout Design:

- The location of all existing and proposed structures on the property together with their dimensions, distance between structures and setback distances from property lines.
- Approximate location of all streams, drainage channels, and/or bodies of water and an approximate indication of slope and elevation of the property.
- Names, locations, and widths of all existing and proposed streets or right-of-ways known to the owner as to location on or near the property.
- Proposed type and location of driveway, parking areas, sidewalks, fences, shrubs, landscaping, etc.
- The relation to the existing buildings and structures in the general vicinity and area.
- Location of sewer lines and leach field areas.

2. Setbacks:

Front: Required	_____	Proposed	_____
Side: Required	_____	Proposed	_____
Rear: Required	_____	Proposed	_____

3. Proposed building and/or improvements showing the same as it will appear after the work for which the permit is sought shall have been completed:

Design of proposed construction and/or other improvement (show on drawings).

Height and area of buildings: 14' Eaves 1800 Sq Ft

Ground level to roof peak: 19'

Ground level to top of wall (show on drawings.): 14'

Roofing: Type: Metal Roofing Painted Choice of Colors

Pitch: 4' Eave Lengths: Sides 18' Gabled Ends 18'

*Color: To be determined (match house)

Elevations of proposed building (shown on drawings).

Exterior: Material: metal siding Painted choice of color

*Color of Siding: To be determined match house

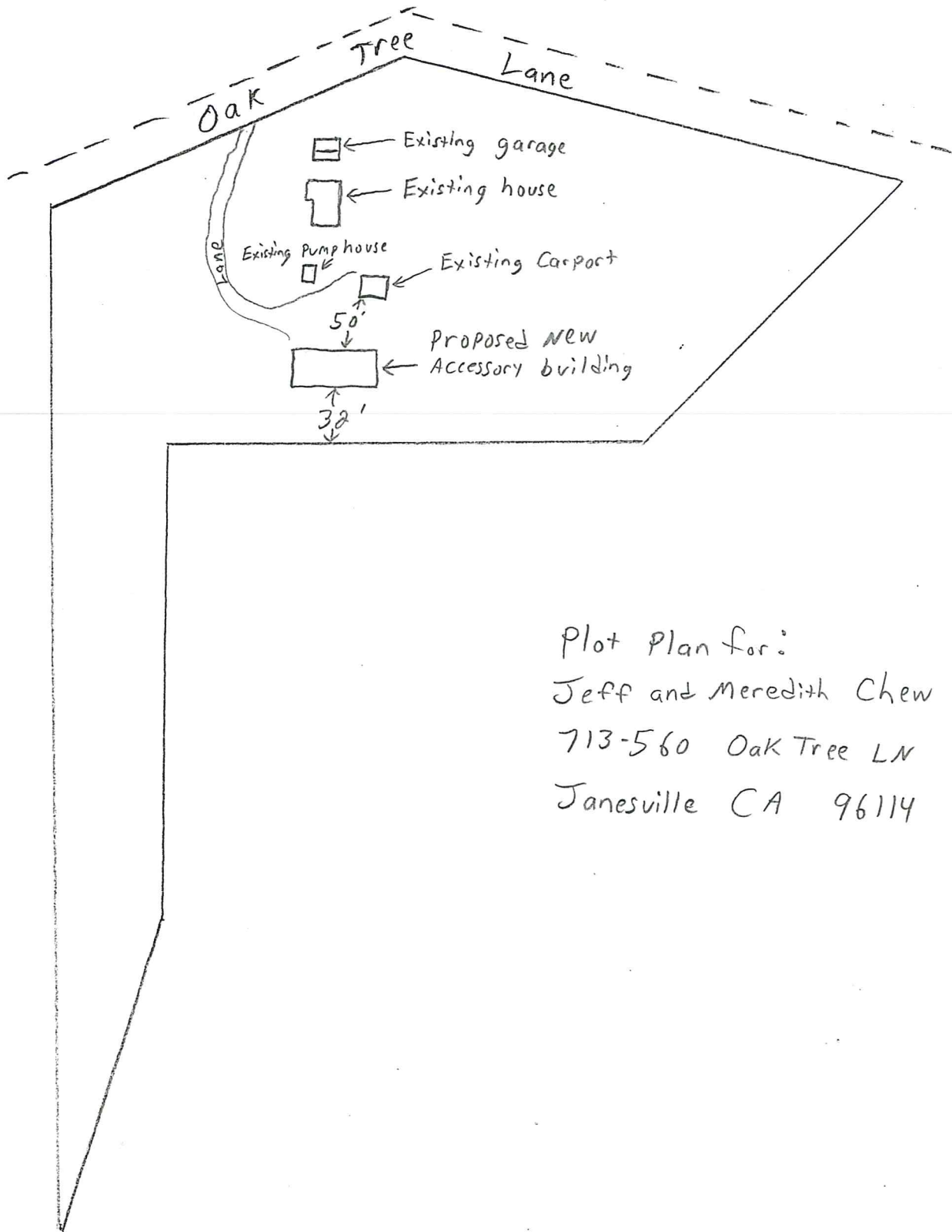
Masonry work – color and materials to be used: _____

***Two (2) color samples of new roof or exterior must accompany this application.**

Staff Use Only: Fire Responsibility Area: ☐ SRA ☐ LRA-very high Chapter 7A materials required: ☐ Yes ☐ No

Conference with Cal Fire required: ☐ Yes ☐ No Building Inspector intake review complete (initial): _____ Date: _____

Proposed New 30'x60'x14 accessory building



Plot Plan for:
Jeff and Meredith Chew
713-560 Oak Tree LN
Janesville CA 96114



01/31/2020



01/31/2020

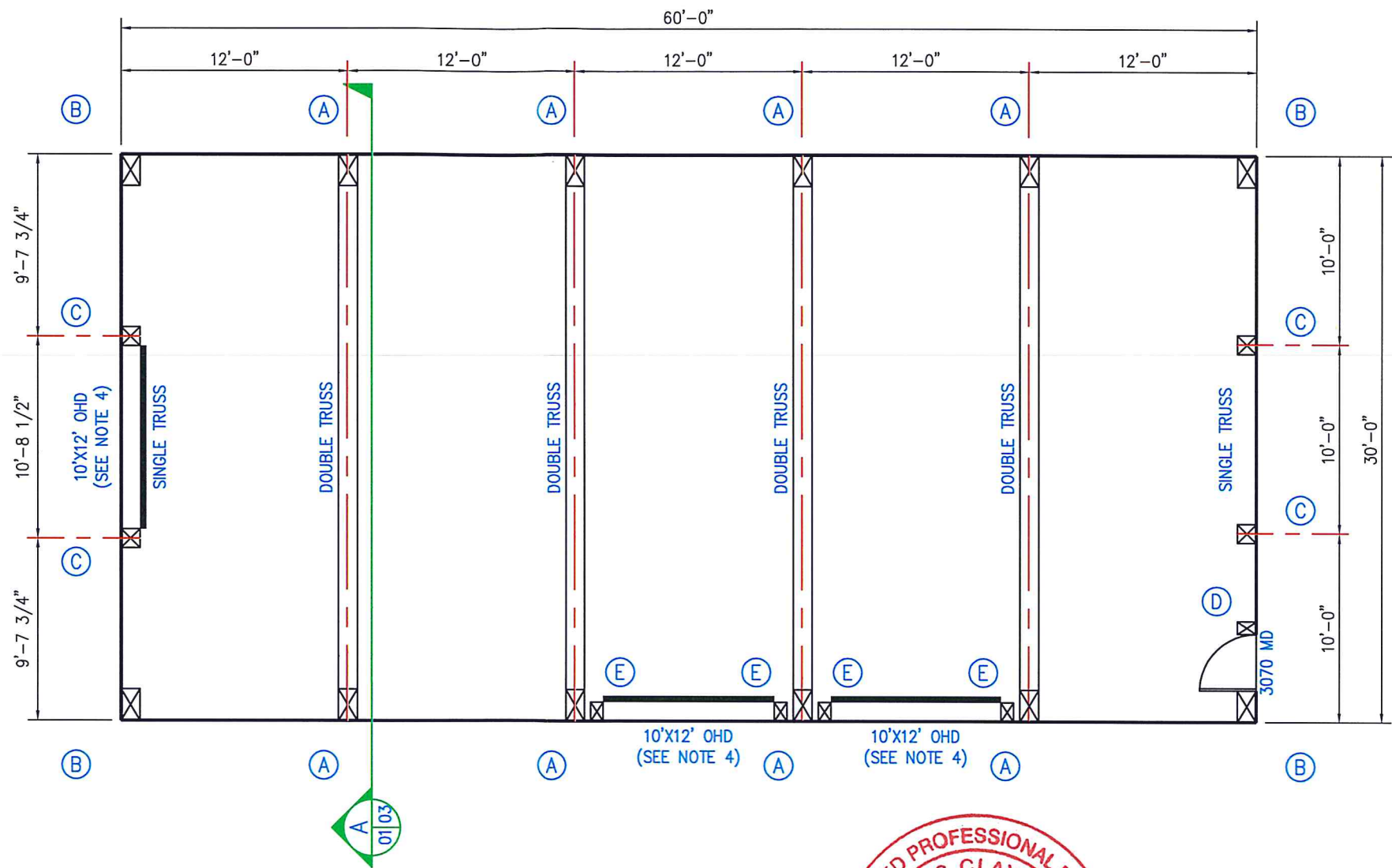




POST / BRACING NOTES

ITEM	DESCRIPTION
(A)	6X10 P.T. #1 D-F S4S POST USE 4'-0" (MIN) EMBEDMENT DEPTH, 30"Ø FOOTING & CONCRETE BACKFILL, NOTE ORIENTATION (SEE DETAIL 2 ON THE SECTION DETAILS DRAWING)
(B)	6X10 P.T. #1 D-F S4S POST USE 4'-0" (MIN) EMBEDMENT DEPTH, 24"Ø FOOTING & CONCRETE BACKFILL, NOTE ORIENTATION (SEE DETAIL 2 ON THE SECTION DETAILS DRAWING)
(C)	6X6 P.T. #1 D-F S4S POST USE 4'-0" (MIN) EMBEDMENT DEPTH, 18"Ø FOOTING & CONCRETE BACKFILL (SEE DETAIL 3 ON THE SECTION DETAILS DRAWING)
(D)	4X6 P.T. #2 H-F DOOR POST USE 2'-6" EMBEDMENT DEPTH & 18"Ø CONCRETE BACKFILL (NO CONCRETE FOOTING REQ'D), NOTE ORIENTATION
(E)	P.T. DOOR POST (SEE GENERAL NOTE 3)

Area = 1800 sq'



GENERAL NOTES

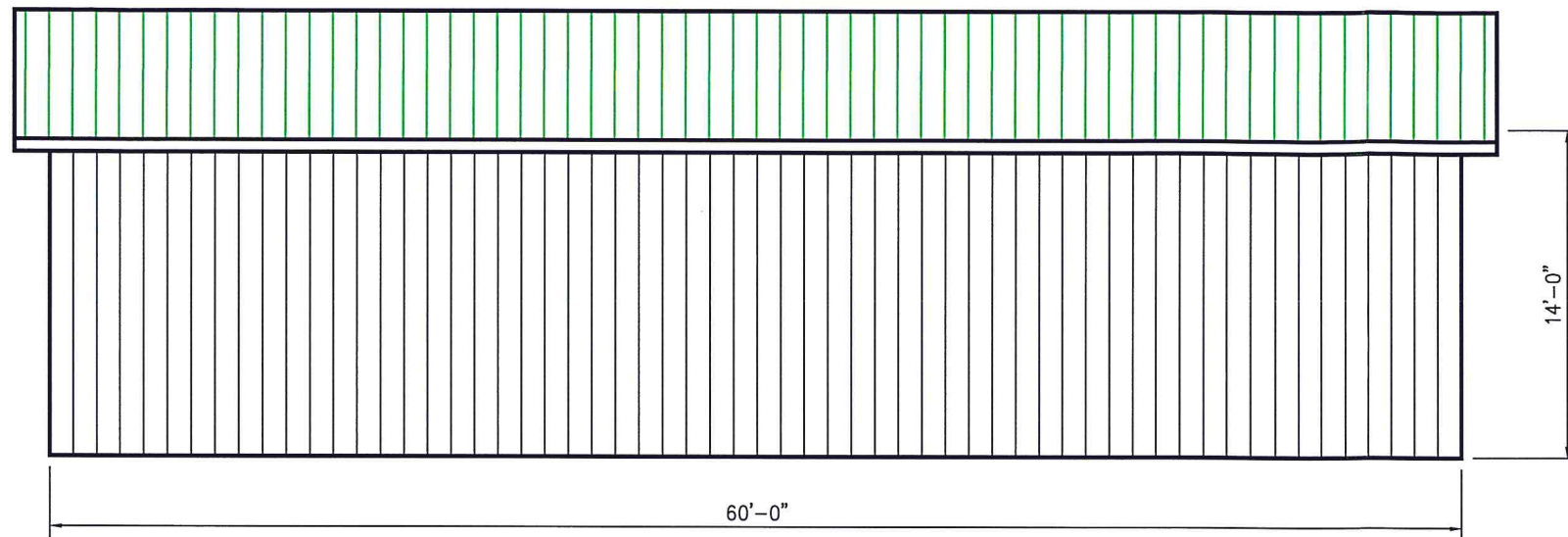
1. ALL POSTS EMBEDDED IN GROUND SHALL BE PRESSURE TREATED FOR BURIAL.
2. PERSONNEL DOOR(S) AND WINDOW(S) SHOWN MAY BE LOCATED BY THE BUILDER IN THE WALL(S) SHOWN UNLESS SPECIFICALLY LOCATED ON THIS DRAWING.
3. DOOR POSTS MAY BE SIZED, LOCATED AND EMBEDDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. DOOR POSTS MAY BE OMITTED IF DOOR IS FRAMED DIRECTLY AGAINST A STRUCTURAL POST.
4. CONTRACTOR TO VERIFY DOOR DIMENSIONS AND CLEARANCES PRIOR TO BUILDING CONSTRUCTION AND DOOR INSTALLATION. OVERHEAD DOOR SIZE MAY BE REDUCED AS REQ'D TO ENSURE CORRECT OPERATION OF THE DOOR.



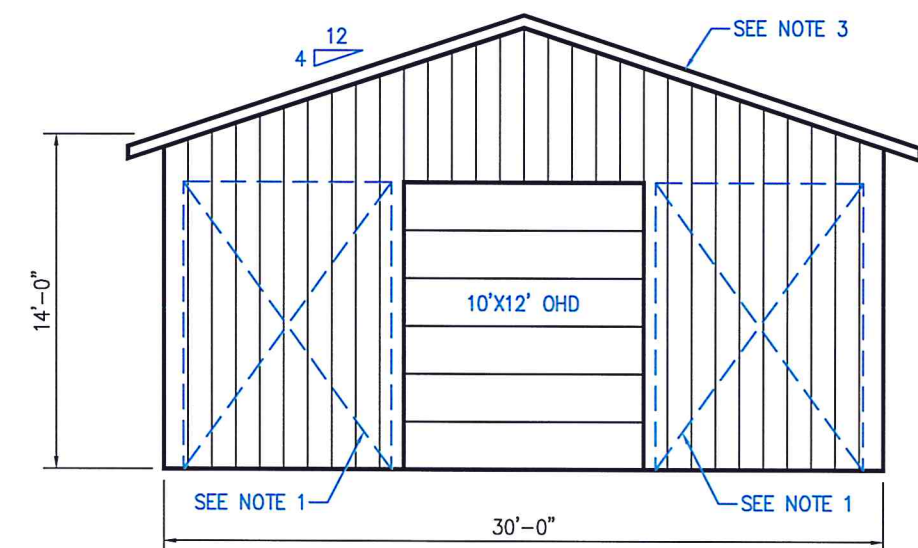
PLAN VIEW

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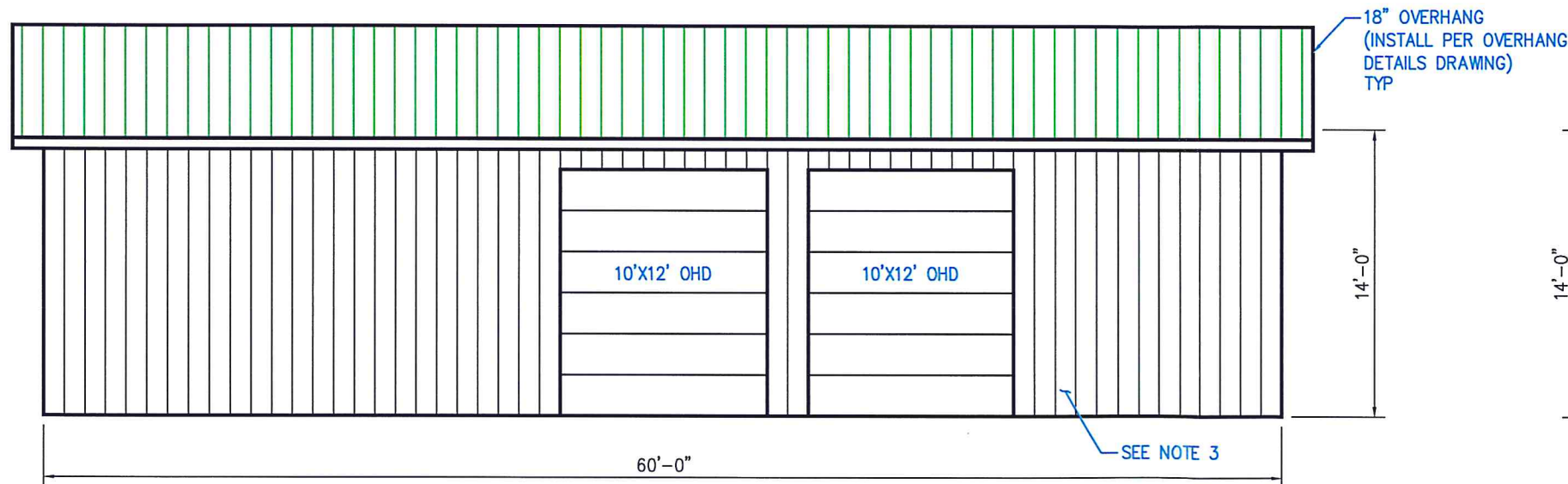
CLIENT	OWNER / BUILDING LOCATION
FRONTIER BUILDERS 715-505 BLICKENSTAFF RD JANESVILLE, CA 96114	JEFF & MEREDITH CHEW 713-560 OAK TREE LN JANESVILLE, CA 96114
DATE: 13 DEC 19	DWG NO: PFB-01 of 08
DRAWN BY: RC	JOB NO: 2200919
PLOT #: 96	REV: 0



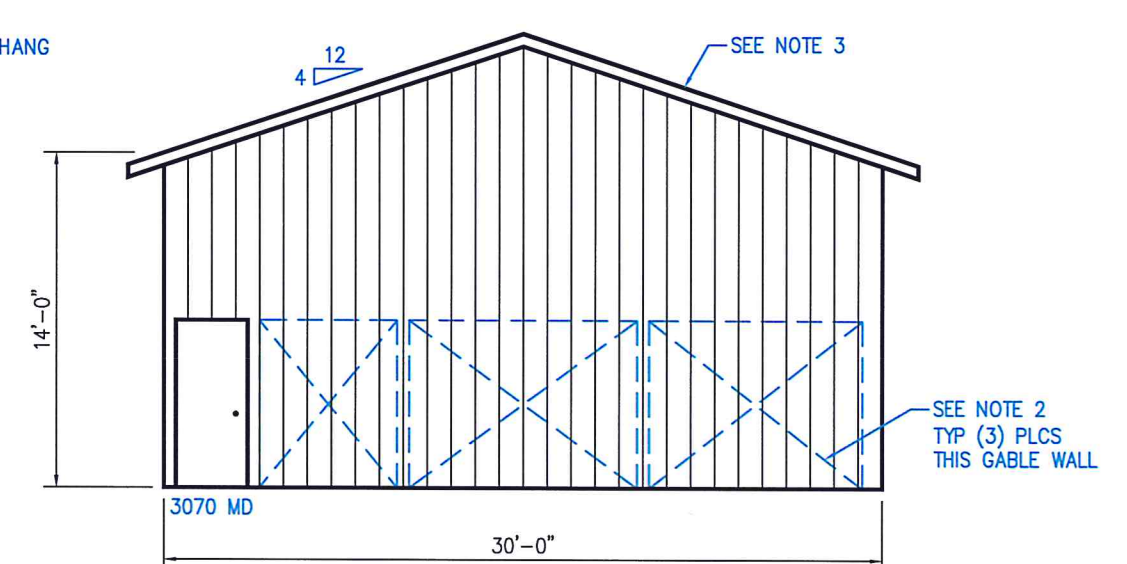
REAR EAVE VIEW



LEFT GABLE VIEW



FRONT EAVE VIEW



RIGHT GABLE VIEW

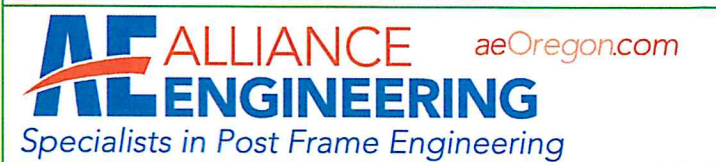
GENERAL NOTES

1. ON THE AREAS SHOWN, INSTALL 7/16" OSB OR 1/2" CDX PLYWOOD SHEATHING ON INTERIOR SIDE OF WALL. NAIL WOOD SHEATHING WITH 6d NAILS AT 3" O.C. EDGES, 12" O.C. FIELD. PROVIDE 2X BLOCKING AT ALL PANEL EDGES.
2. ON THE AREAS SHOWN, UP TO THE HEIGHT OF THE MAIN DOOR, INSTALL 7/16" OSB OR 1/2" CDX PLYWOOD SHEATHING ON INTERIOR SIDE OF WALL. NAIL WOOD SHEATHING WITH 6d NAILS AT 4" O.C. EDGES, 12" O.C. FIELD. PROVIDE 2X BLOCKING AT ALL PANEL EDGES.
3. ON THE ENTIRE FRONT EAVE WALL, AND THE ENTIRE ROOF, INSTALL THE 29 GA METAL SHEATHING PER THE ALTERNATE SCREW SCHEDULE ON THE STANDARD DETAILS DRAWING.

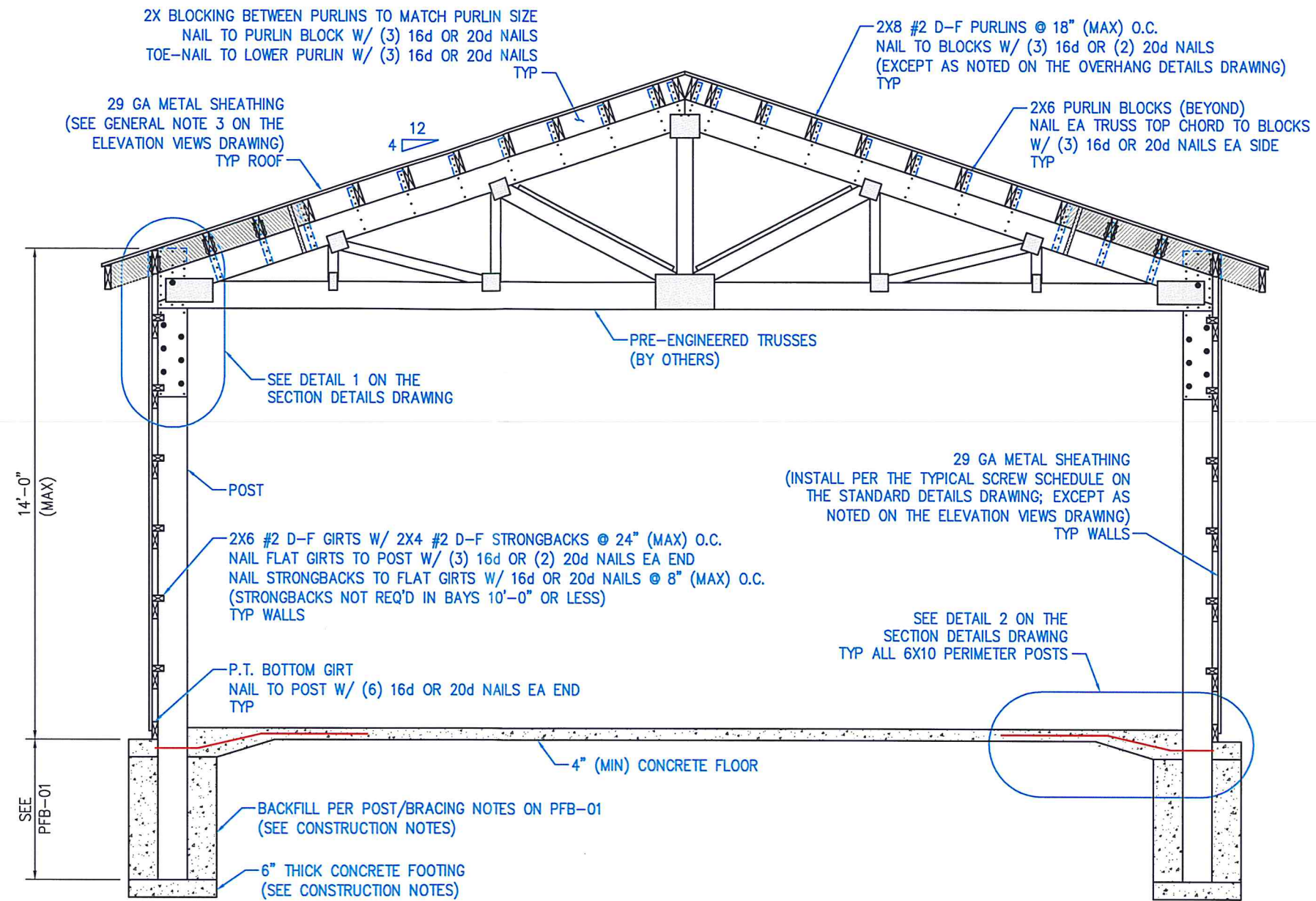


1/8" = 1'-0"

ELEVATION VIEWS



CLIENT	OWNER / BUILDING LOCATION
FRONTIER BUILDERS	JEFF & MEREDITH CHEW
715-505 BLICKENSTAFF RD	713-560 OAK TREE LN
JANESVILLE, CA 96114	JANESVILLE, CA 96114
DATE: 13 DEC 19	DWG NO:
DRAWN BY: RC	PFB-02 of 08
PLOT @: 96	JOB NO: 2200919
	REV: 0



A TYP BUILDING CROSS SECTION
01/03

BUILDING DATA:	
WIDTH:	30'-0"
LENGTH:	60'-0"
EAVE HT:	14'-0"
ROOF SLOPE:	4 IN 12
TRUSS SPACING:	12'-0"
BUILDING CODE:	
WIND LOAD:	110 MPH
EXPOSURE:	C
GROUND SNOW LOAD:	86 PSF
ROOF SNOW LOAD:	60 PSF
DEAD LOAD:	5 PSF
SOIL BEARING:	1.5 KSF
SEISMIC CATEGORY:	D
CBC:	2016

GENERAL NOTES

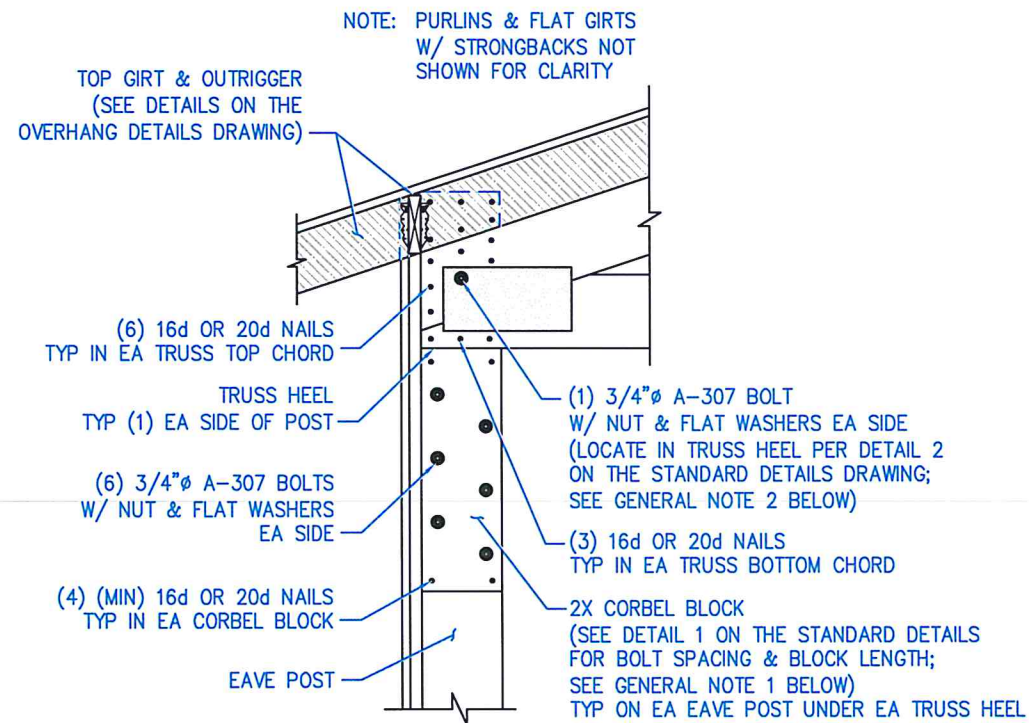
- GIRTS MAY BE INSTALLED COMMERCIAL STYLE AT 24" O.C. BY THE CONTRACTOR WITH 2X BLOCKING BETWEEN MEMBERS OR WITH SIMPSON LU26 HANGERS (OR EQUAL). IF 2X BLOCKING IS USED, THEN NAIL BLOCKING TO POST WITH (6) 20d OR (6) 16d NAILS (MIN). NAIL GIRTS TO BLOCKING WITH (2) 20d OR (3) 16d NAILS AT EACH END.
- PURLINS MAY BE INSTALLED WITH SIMPSON LU28 HANGERS OR EQUAL (SEE NOTE 12 ON THE CONSTRUCTION NOTES DRAWING), OVER-LAPPED, OR BUTTED ON THE TRUSSES AS REQUIRED BY THE CONTRACTOR.



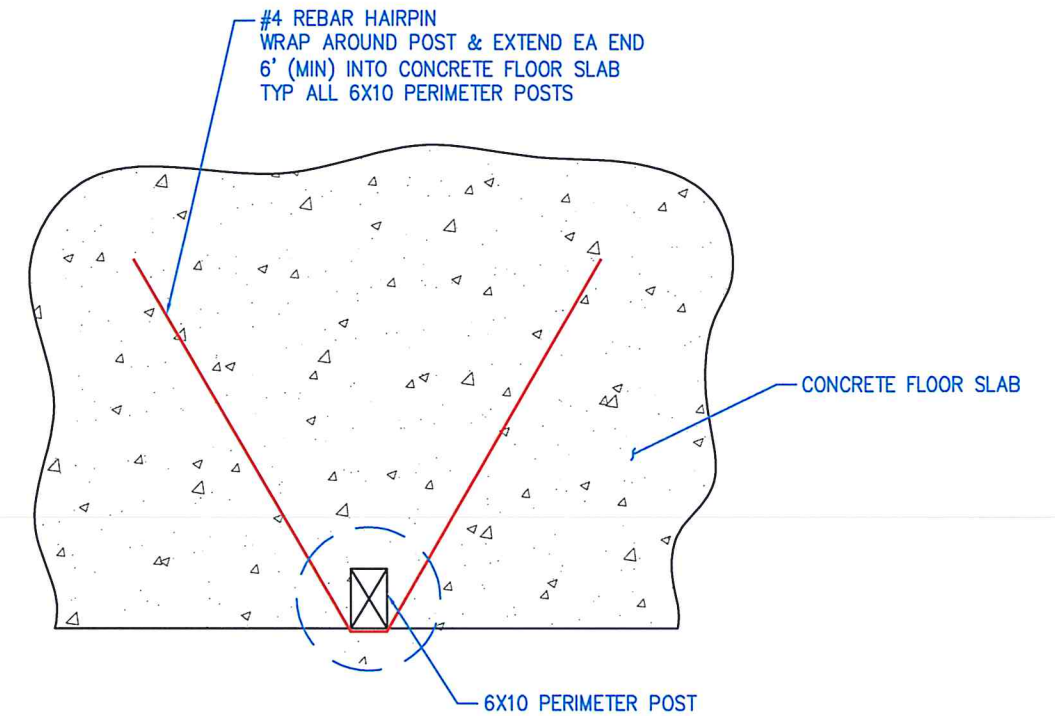
SECTION A

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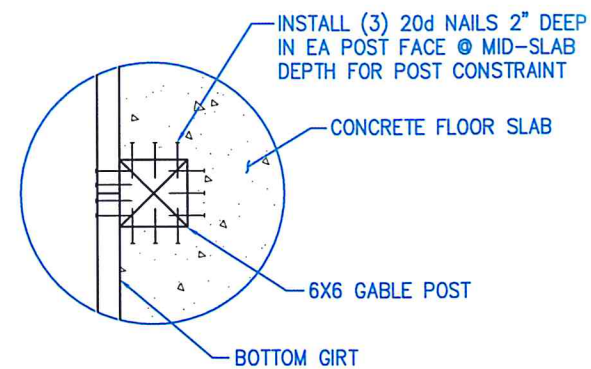
CLIENT		OWNER / BUILDING LOCATION	
FRONTIER BUILDERS 715-505 BLICKENSTAFF RD JANESVILLE, CA 96114		JEFF & MEREDITH CHEW 713-560 OAK TREE LN JANESVILLE, CA 96114	
DATE: 13 DEC 19	DWG NO:	JOB NO:	REV:
DRAWN BY: RC	PLOT @: 48	PFB-03 of 08	2200919 0



1 TRUSS TO POST CONNECTION
TYPICAL DOUBLE TRUSS TO EAVE POST CONNECTION
(SIDE VIEW - N.T.S.)



2 6X10 POST TO FLOOR SLAB CONNECTION
TYPICAL REBAR HAIRPIN FOR 6X10 EAVE POST CONSTRAINT SHOWN
(TYPICAL REBAR HAIRPIN FOR 6X10 CORNER POST CONSTRAINT SIMILAR)
(TOP VIEW - N.T.S.)



3 6X6 POST TO FLOOR SLAB CONNECTION
TYPICAL POST NAILS @ MID-SLAB DEPTH FOR 6X6 GABLE
POST CONSTRAINT (TOP VIEW - N.T.S.)

GENERAL NOTES

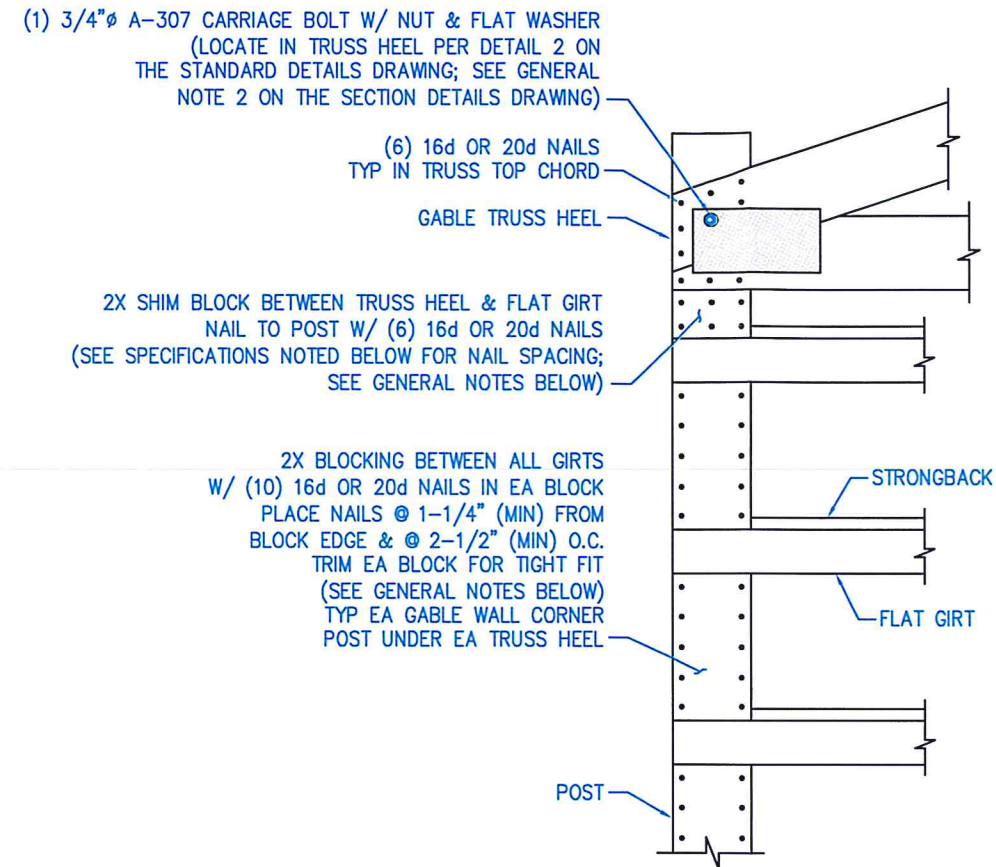
1. ALL 2X BLOCKS MUCH MATCH POST WIDTH, AND BE FREE OF SPLITS, CHECKS AND SHAKES, BEFORE AND AFTER INSTALLING NAILS AND BOLTS.
2. CONTRACTOR MUST NOTIFY TRUSS ENGINEER OF TRUSS INSTALLATION REQUIREMENTS AND OBTAIN APPROVAL FOR THE INSTALLATION OF NAILS AND BOLTS THRU THE METAL TRUSS PLATES PRIOR TO TRUSS INSTALLATION.



SECTION DETAILS

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CLIENT		OWNER / BUILDING LOCATION	
FRONTIER BUILDERS 715-505 BLICKENSTAFF RD JANESVILLE, CA 96114		JEFF & MEREDITH CHEW 713-560 OAK TREE LN JANESVILLE, CA 96114	
DATE: 13 DEC 19	DWG NO:	JOB NO:	REV:
DRAWN BY: RC	PLOT @: 48	PFB-04 of 08	2200919 0



1 GABLE TRUSS TO POST CONNECTION
TYPICAL GABLE TRUSS HEEL TO CORNER POST
CONNECTION - N.T.S.

GENERAL NOTES

1. IF TOTAL NUMBER OF NAILS SPECIFIED IN EACH BLOCK WILL NOT FIT DUE TO SIZE OF BLOCKING, THEN INSTALL (MAX) AMOUNT OF NAILS POSSIBLE PER NAIL SPACING NOTED IN DETAIL 1 ABOVE.
2. IF GIRTS ARE INSTALLED COMMERCIAL STYLE PER GENERAL NOTE 1 ON SECTION A DRAWING, THEN INSTALL 2X CONTINUOUS CORBEL BLOCK BETWEEN GABLE TRUSS HEEL AND P.T. BOTTOM GIRT. NAIL BLOCK TO POST WITH 16d OR 20d NAILS AT 2-1/2" (MIN) O.C. VERTICALLY, AND AT 1-1/4" (MIN) FROM BLOCK EDGES.
3. ALL 2X BLOCKS MUST MATCH POST WIDTH, AND BE FREE OF SPLITS, CHECKS & SHAKES, BEFORE AND AFTER NAILING.

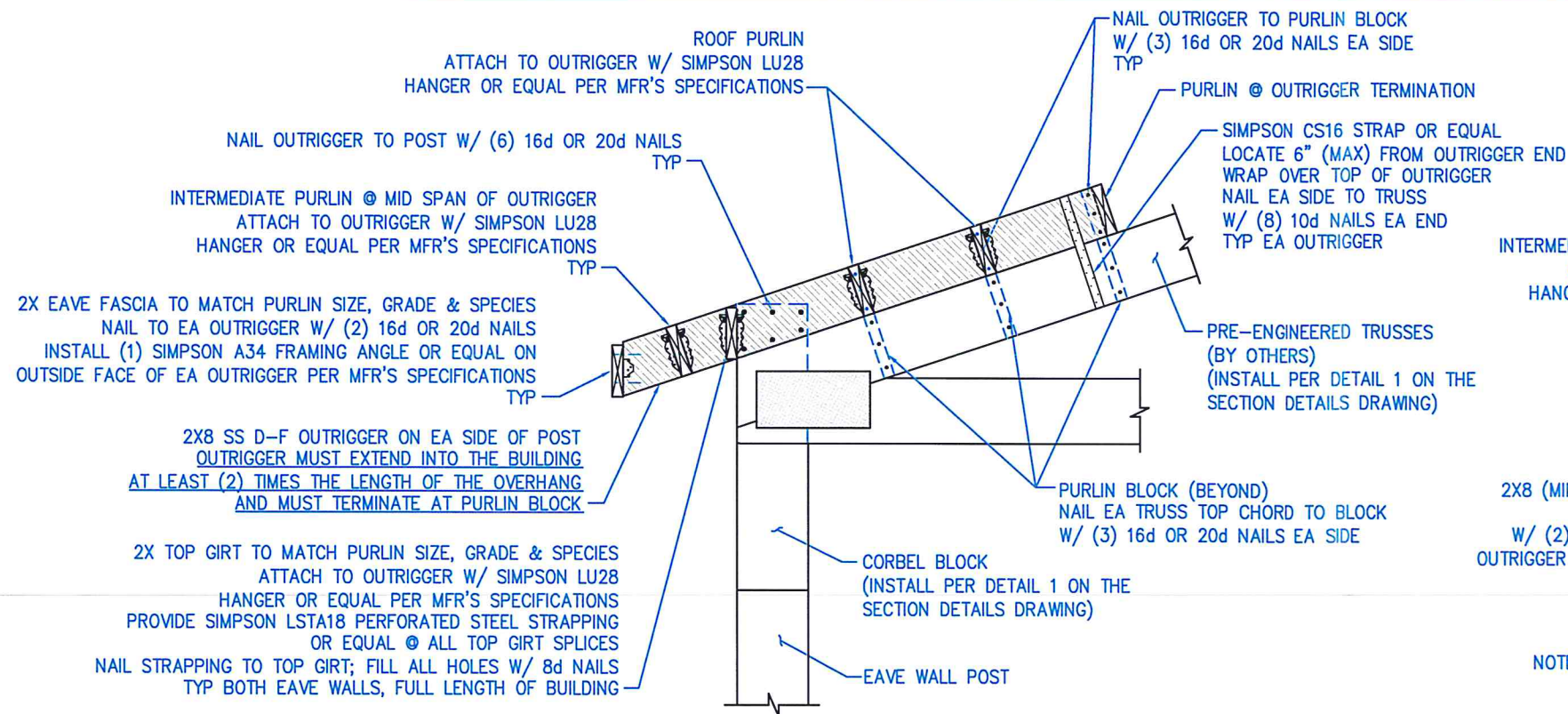


Handwritten signature and date: 12-31-2020

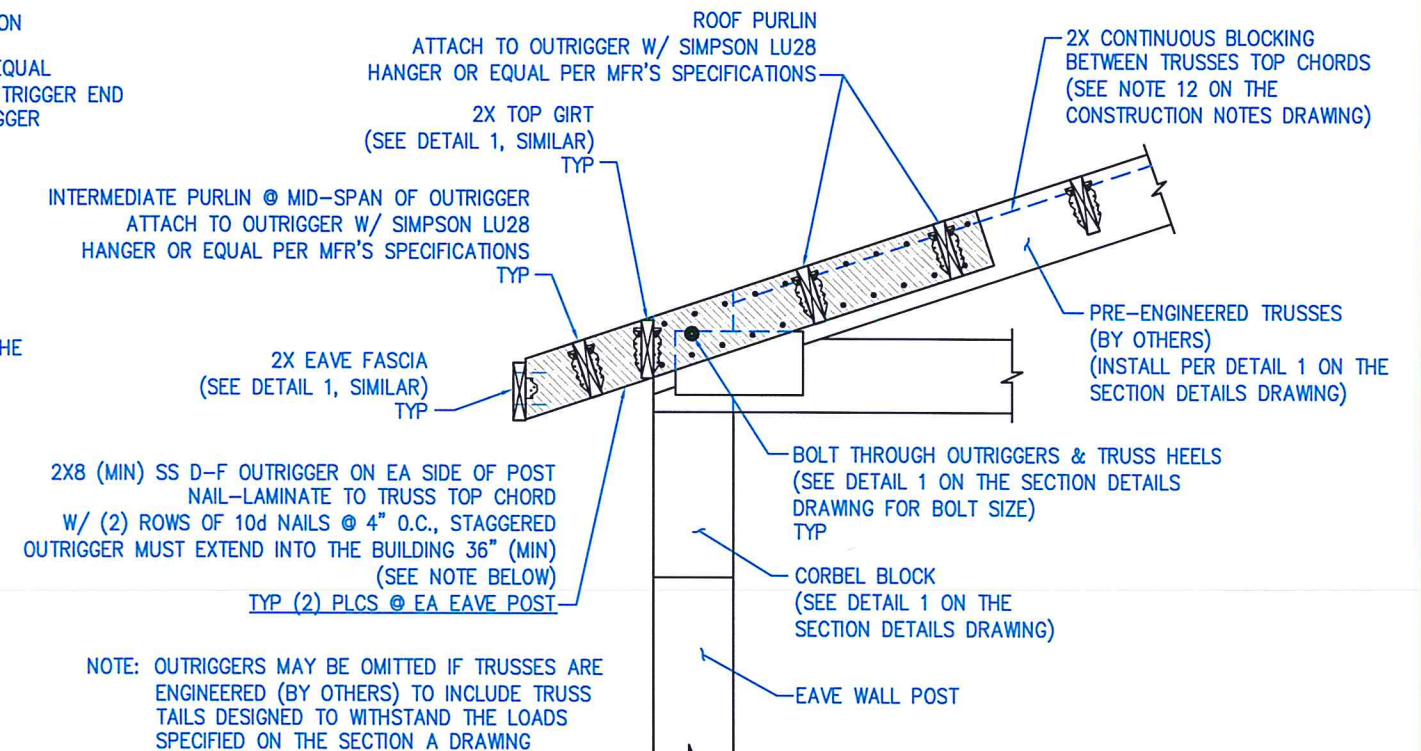
FRAMING DETAILS

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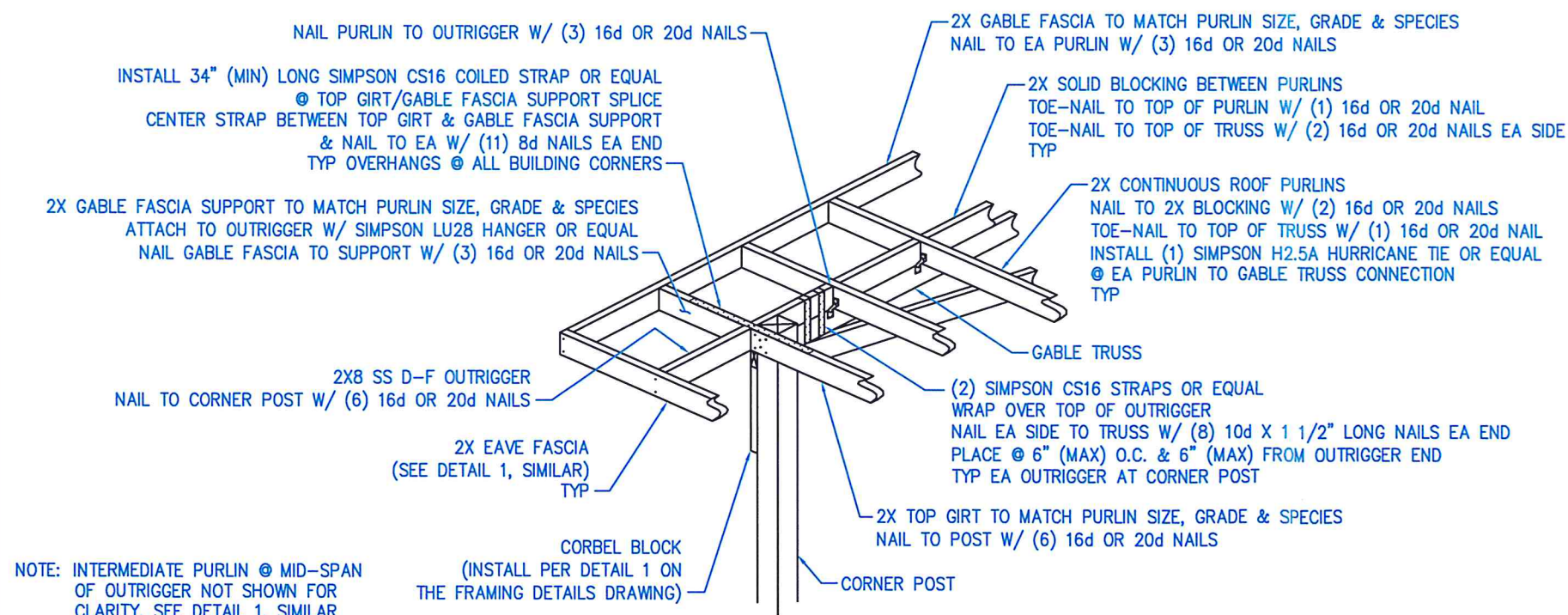
CLIENT		OWNER / BUILDING LOCATION	
FRONTIER BUILDERS 715-505 BLICKENSTAFF RD JANESVILLE, CA 96114		JEFF & MEREDITH CHEW 713-560 OAK TREE LN JANESVILLE, CA 96114	
DATE: 13 DEC 19	DWG NO:	JOB NO:	REV:
DRAWN BY: RC	PLOT @: 24	PFB-05 of 08	2200919 0



1 TYPICAL EAVE WALL OVERHANG DETAIL
STACKED PURLINS @ TRUSS
N.T.S.



2 ALTERNATE EAVE WALL OVERHANG DETAIL
HUNG PURLINS @ DOUBLE TRUSS
N.T.S.



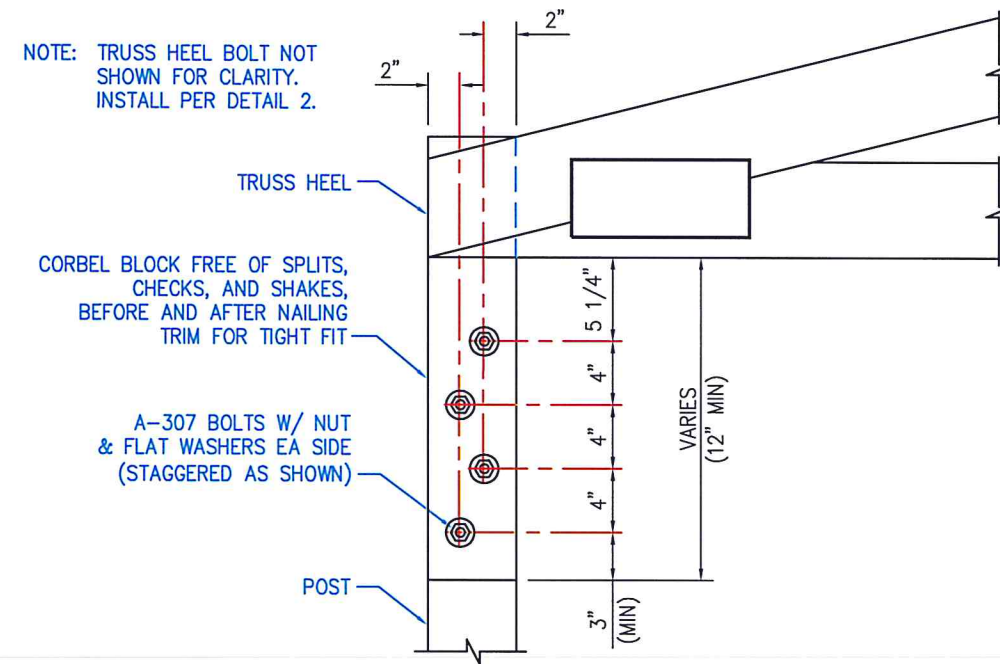
3 TYPICAL MAIN BUILDING GABLE OVERHANG DETAIL
N.T.S.



OVERHANG DETAILS

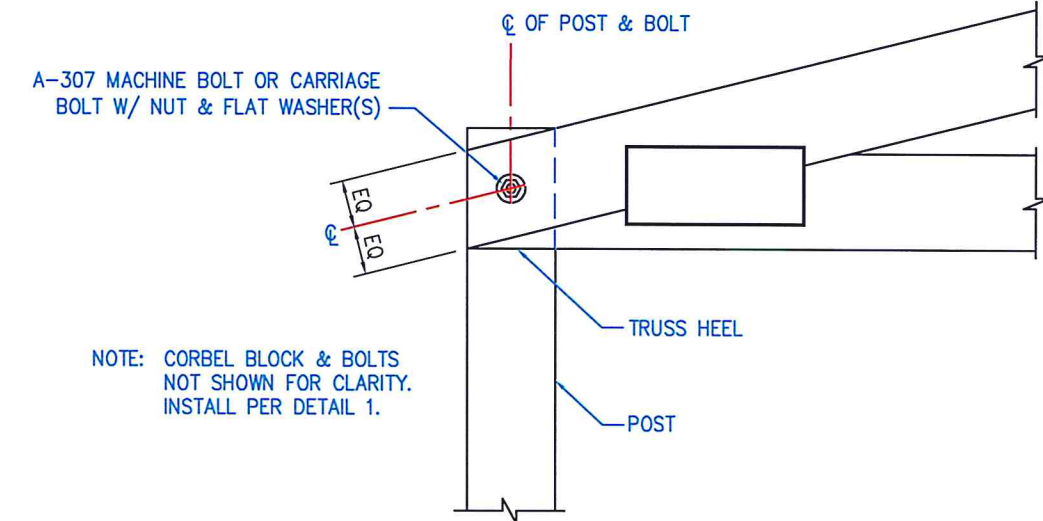
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CLIENT	OWNER / BUILDING LOCATION
FRONTIER BUILDERS 715-505 BLICKENSTAFF RD JANESVILLE, CA 96114	JEFF & MEREDITH CHEW 713-560 OAK TREE LN JANESVILLE, CA 96114
DATE: 13 DEC 19	DWG NO: PFB-06 of 08
DRAWN BY: RC	PLOT @: 24
JOB NO: 2200919	REV: 0



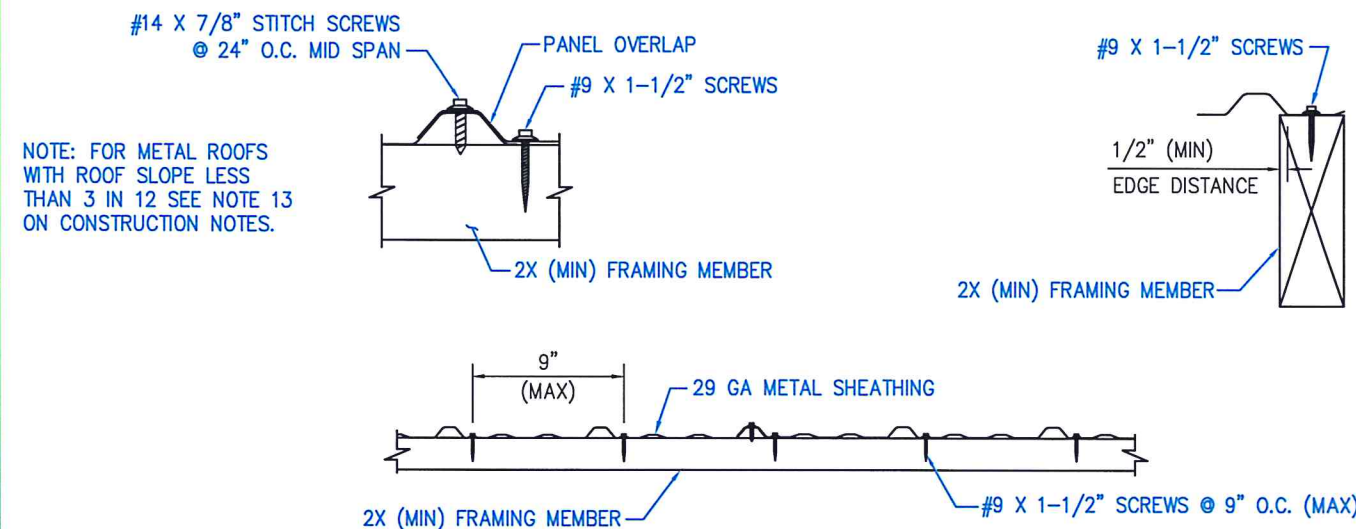
NOTE: THIS DETAIL IS FOR BOLT LOCATION AND CORBEL BLOCK SIZING ONLY.
SEE SECTION DETAILS DRAWING FOR ACTUAL BOLT SIZE AND QUANTITY REQUIRED.
SEE NOTE 10 ON CONSTRUCTION NOTES DRAWING.

1 CORBEL BLOCK
FOR (2) OR MORE BOLTS



NOTE: THIS DETAIL IS FOR BOLT LOCATION ONLY. SEE SECTION DETAILS
DRAWING & FRAMING DETAILS DRAWING FOR ACTUAL BOLT SIZE
REQUIRED. SEE NOTE 10 ON CONSTRUCTION NOTES DRAWING.

2 TRUSS HEEL BOLT
FOR (1) TRUSS HEEL BOLT

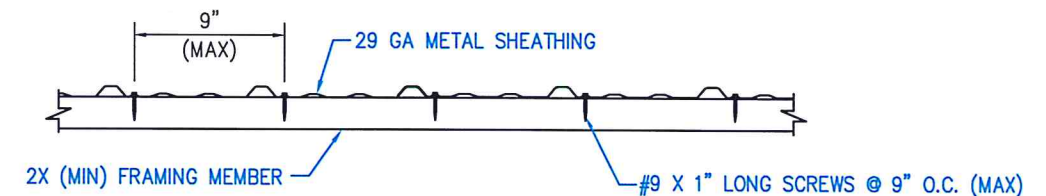


FASTEN THE 29 GA METAL SHEATHING TO THE FRAMING MEMBERS USING #9 X 1-1/2" AT 9" O.C. ADJACENT TO EACH OF THE MAJOR RIBS. PARALLEL TO THE PANEL RIBS, AT TERMINATING EDGES OF ROOF, WALLS AND ALL OPENINGS, THE #9 X 1-1/2" SCREWS SHALL BE SPACED AT 12" O.C. (ADDITIONAL BLOCKING MAY BE REQUIRED TO ACHIEVE PROPER SCREW SPACING AT TERMINATING EDGES). THE FASTENERS SHALL BE 1/2" (MIN) FROM PANEL EDGES. THE DECK SIDE LAPS SHALL BE FASTENED TOGETHER WITH #14 X 7/8" LONG SELF DRILLING SCREWS MID SPAN BETWEEN THE SUPPORTS AT 24" O.C. (MAX). INCREASE LENGTH OF #9 SCREWS BY THICKNESS OF ANY APPLIED SUBSHEATHING.

3 ALTERNATE SCREW SCHEDULE
N.T.S.

NOTE: FOR METAL ROOFS
WITH ROOF SLOPE LESS
THAN 3 IN 12 SEE NOTE 13
ON CONSTRUCTION NOTES.

NOTE: NO STITCH SCREWS REQUIRED



FASTEN THE 29 GA METAL SHEATHING TO THE FRAMING MEMBERS USING #9 X 1" AT 9" O.C. ADJACENT TO EACH OF THE MAJOR RIBS. THE FASTENERS SHALL BE 1/2" (MIN) FROM PANEL EDGES. INCREASE LENGTH OF #9 SCREWS BY THICKNESS OF ANY APPLIED SUBSHEATHING.

4 TYPICAL SCREW SCHEDULE
N.T.S.



STANDARD DETAILS

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CLIENT	OWNER / BUILDING LOCATION
FRONTIER BUILDERS 715-505 BLICKENSTAFF RD JANESVILLE, CA 96114	JEFF & MEREDITH CHEW 713-560 OAK TREE LN JANESVILLE, CA 96114

DATE: 13 DEC 19	DWG NO:	JOB NO:	REV:
DRAWN BY: RC	PLOT @: 12	PFB-07 of 08	2200919 0

POLE BUILDING CONSTRUCTION NOTES:

1. UNLESS NOTED OTHERWISE, ALL CONCRETE f'c SHALL BE 2500 PSI MINIMUM AT 28 DAYS. THE CONCRETE SHALL BE MIXED IN THE CORRECT PROPORTIONS PRIOR TO PLACEMENT. NO SPECIAL INSPECTION IS REQUIRED.

2. ALL SOLID SAWN LUMBER 5"x5" AND LARGER SHALL BE VISUALLY GRADED TIMBERS UNLESS OTHERWISE NOTED. ALL FRAMING LUMBER SHALL BE AT LEAST THE MINIMUM NOTED ON THE DRAWINGS. LUMBER NOT SPECIFICALLY CALLED OUT MAY BE STANDARD OR BETTER. No. 2 DOUG-FIR MAY BE SUBSTITUTED FOR No. 2 HEM-FIR. MSR 1650 MAY BE SUBSTITUTED FOR No. 2 DOUG-FIR.

3. ALL POSTS SHALL BE CENTERED IN THE POSTHOLES. ALL POST EMBEDMENT DEPTHS SHALL BE MEASURED FROM THE TOP OF THE CONCRETE PAD TO TOP OF GRADE. IF SOLID ROCK IS ENCOUNTERED, THE CONCRETE PAD MAY BE OMITTED PROVIDED THE POST BEARS DIRECTLY ON SOLID ROCK. POSTS SHALL BE EMBEDDED INTO UNDISTURBED NATIVE SOIL AT THE EMBEDMENT DEPTHS SPECIFIED. IF FILL IS PLACED ON THE SITE, THE POSTHOLE DEPTHS SHALL BE INCREASED AS REQUIRED TO PROVIDE UNDISTURBED NATIVE SOIL UNLESS THE FILL HAS BEEN TESTED BY A CERTIFIED SOILS TESTING LABORATORY TO BE 95% COMPACTED.

4. IF THE DRAWNGS SPECIFY CONCRETE BACKFILL IN THE POSTHOLES, THE BACKFILL SHALL BE THE MINIMUM PSI AS SPECIFIED IN NOTE 1, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL INSTALL (10) 20d NAILS 2" DEEP INTO (2) OPPOSITE POST FACES ON EACH POST BELOW GRADE. PROVIDE 6" THICK CONCRETE FOOTING TO MATCH HOLE DIAMETER.

5. IF THE DRAWNGS SPECIFY GRANULAR BACKFILL IN THE POSTHOLES, THE BACKFILL SHALL BE 5/8" TO 3/4" (-) GRAVEL OR CRUSHED ROCK. THE CONTRACTOR SHALL INSURE THAT THE BACKFILL IS SATURATED PRIOR TO BACKFILLING AND IS COMPACTED AFTER EACH 6" LIFT. PROVIDE 6" THICK CONCRETE FOOTING TO MATCH HOLE DIAMETER.

6. IF THE DRAWNGS SPECIFY NATURAL BACKFILL IN THE POSTHOLES, THE BACKFILL SHALL BE WELL-GRADED NATIVE SOIL (FREE FROM ALL ORGANICS AND LARGE COBBLES). THE CONTRACTOR SHALL INSURE THAT THE BACKFILL IS SATURATED PRIOR TO BACKFILLING AND IS COMPACTED AFTER EACH 6" LIFT. PROVIDE 6" THICK CONCRETE FOOTING TO MATCH HOLE DIAMETER.

7. ALL WOOD MEMBERS, FRAMING REQUIREMENTS AND CONNECTIONS SHALL COMPLY WITH THE BUILDING CODE LISTED ON THESE DRAWINGS. INSTALL EXTERIOR FLASHING PER THE BUILDING CODE LISTED ON THESE DRAWINGS, AND IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. INSTALL VENTILATION AS REQUIRED AND IN ACCORDANCE WITH THE BUILDING CODE LISTED ON THESE DRAWINGS.
8. ALL FASTENERS DRIVEN INTO, OR STEEL CONNECTORS EXPOSED TO, PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED, STAINLESS STEEL, OR APPLIED WITH MANUFACTURER'S PROPRIETARY CORROSION RESISTIVE COATING.

9. OFF LOADING & HANDLING AND TEMPORARY & PERMANENT BRACING OF ALL TRUSSES SHALL COMPLY WITH BUILDING COMPONENT SAFETY INFORMATION PUBLICATIONS BCSI-B1 AND BCSI-B10. INSURE THAT ALL BRACING AND BEARING AREA REQUIRED BY THE MANUFACTURER OF THE PRE-ENGINEERED TRUSSES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

10. PROTECTIVE COVERING OR COATING SHALL BE PROVIDED FOR ALL CORBEL BLOCKS, BOLTS, TRUSS AND/OR RAFTER HEELS AND WOOD FASCIAS DIRECTLY EXPOSED TO THE ELEMENTS.

11. UNLESS NOTED OTHERWISE, GIRTS AND PURLINS HAVE BEEN DESIGNED FOR STRESS ONLY. THEY HAVE NOT BEEN DESIGNED FOR THE DIRECT ATTACHMENT OF INTERIOR FINISHES.

12. IF PURLINS ARE INSTALLED WITH JOIST HANGERS, OMIT THE PURLIN BLOCKS AND INSTALL 2X CONTINUOUS BLOCKING TO MATCH POST WDTN BETWEEN RAFTERS/TRUSS TOP CHORDS. LOCATE BLOCKING AT THE TOP OF THE RAFTERS/TRUSS TOP CHORDS AND NAIL EACH SIDE WITH 16d NAILS AT 12" (MAX) O.C.. CONTRACTOR TO VERIFY THAT THE WIDTH OF THE TRUSS TOP CHORD IS EQUAL TO OR GREATER THAN THE PURLIN WIDTH, PRIOR TO CONSTRUCTION.

13. INSTALL ALL STEEL SHEATHING TO THE INTERIOR FRAMING MEMBERS (GIRTS AND PURLINS) PER THE TYPICAL SCREW SCHEDULE GIVEN ON THE STANDARD DETAILS DRAWING UNLESS NOTED OTHERWISE. FOR NON-STANDING SEAM METAL ROOFS WITH ROOF SLOPE OF LESS THAN 3 IN 12 AND STANDING SEAM METAL ROOFS WITH ROOF SLOPE OF 1/4 IN 12, APPLY LAP SEALANT PER MANUFACTURER'S SPECIFICATIONS IN ACCORDANCE WITH THE BUILDING CODE LISTED ON THESE DRAWINGS.

14. IF THE DRAWINGS SHOW POLYCARBONATE LIGHT PANELS, BOTH ENDS OF THE PANELS MUST TERMINATE AT A WALL GIRT. WALL GIRTS THAT LIGHT PANELS ARE ATTACHED TO MUST BE FASTENED TO THE POSTS WITH (4) 16d OR 20d NAILS AT EACH END UNLESS COMMERCIAL GIRTS ARE USED. PANELS MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND IN ACCORDANCE WITH THE BUILDING CODE REFERENCED ON THESE DRAWINGS. POLYCARBONATE PANELS SHALL BE AN APPROVED PANEL FOR USE ON WALLS AND DESIGNED TO WITHSTAND THE ENVIRONMENTAL LOADS AS SHOWN ON THE SECTION A DRAWING.

15. UNLESS NOTED OTHERWISE, INSTALL ALL SIMPSON HARDWARE PER MANUFACTURER'S SPECIFICATIONS. LAG SCREW BOLTS SHALL NOT BE SUBSTITUTED FOR SIMPSON STRONG-DRIVE SCREWS.

ABBREVIATIONS & SYMBOLS:

CONT.	CONTINUOUS	PLCS	PLACES
D-F	DOUGLAS FIR	P.T.	PRESSURE TREATED
EA	EACH	R/O	ROUGH OPENING
F/O	FRAMED OPENING	SPF	SPRUCE PINE FIR
GA	GAUGE	SS	SELECT STRUCTURAL
GLB	GLUE LAM BEAM	SYP	SOUTHERN YELLOW PINE
H-F	HEMLOCK FIR	TYP	TYPICAL
HDG	HOT DIPPED GALVANIZED	T.O.	TOP OF
MD	MAN DOOR	U.N.O.	UNLESS NOTED OTHERWISE
MFR'S	MANUFACTURER'S	W	WINDOW
MSR	MACHINE STRESS RATED	W/	WITH
O.C.	ON CENTER	Ø	AT
OPP	OPPOSITE	Ø	DIAMETER



[Handwritten Signature] 1.10.2020

CONSTRUCTION NOTES

ALLIANCE

ENGINEERING

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CLIENT	OWNER / BUILDING LOCATION
FRONTIER BUILDERS 715-505 BLICKENSTAFF RD JANESVILLE, CA 96114	JEFF & MEREDITH CHEW 713-560 OAK TREE LN JANESVILLE, CA 96114

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